



Home Inspection Report



, Blaine, Washington 98230

Inspection Date:

Sunday, February 28, 2021

Prepared For:

Client Name

Prepared By:

Jason Cory

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Report Number:

0228202101

Inspector:

Jason Cory Washington State Inspector #21001447 WSDA Structural Pest Inspector #101652

License/Certification #:

21001447

Inspector Signature:

Report Overview

Scope of Inspection

Full pre-sale inspection

Main Entrance Faces

South

State of Occupancy

Not occupied

Weather Conditions

Misty and 40 degrees

Recent Rain

Last 24 hours

Approximate Age

Building was built in 2005.

Report Summary

Items Not Operating

All systems were operating at the time of the inspection.

Concerns- Major

There are several locations on the exterior of the building that have damaged/deteriorating trim boards (see attached pictures). Recommend further evaluation/repair by licensed contractor.

There is a crack in the siding above and below the window located on right side of the front of structure. This crack could be allowing water/moisture to enter the wall envelope. Recommend further evaluation/repair by licensed contractor.

Concerns- Other

There are several spots below kitchen that insulation is not properly installed against the subfloor. Recommend further evaluation/repair by licensed contractor.

On northeast corner of crawl space insulation is not properly installed against the subfloor. Recommend further evaluation/repair by licensed contractor.

Missing kick out roof flashing. Recommend further evaluation/repair by licensed roofing contractor.

There is build-up in the gutter on the north side of the building. Recommend cleaning out debris.

Potential Safety Hazards- Electrical

No electrical safety issues noted at the time of the inspection.

Potential Safety Hazards- Other

The garage entry door (from garage into dwelling) does not automatically/properly close. This could be a SAFETY ISSUE and should be evaluated/repared by licensed contractor.

Hot water is 130 degrees. This could be a SAFETY ISSUE and recommend adjustment of temperature setting on hot water tank. If temperature cannot be adjusted properly I would recommend further evaluation/repair by licensed plumbing contractor.

Flexible appliances connectors should not enter appliance cabinet. This could be a SAFETY ISSUE and recommend further evaluation/repair by licensed plumbing contractor.

Deferred Cost Items

The asphalt shingle roof is approaching its expected useful life expectancy of 20 years and may need to be replaced in the future. There is evidence of granule loss in the gutter system. I did not find evidence of active water leaks from the roof. I recommend further evaluation by a licensed roofing contractor.

The furnace is approaching its expected useful life expectancy. At the time of the inspection, the furnace was functional and capable of supplying heat to the house. I recommend further evaluation by a licensed HVAC contractor.

The water heater has exceeded its usefully life expectancy. At the time of the inspection, the water heater was functional and capable of supplying hot water. I recommend further evaluation by a licensed plumbing contractor.

The fence posts may need to be leveled/replaced.

Not All Deficiencies Are Listed On This Summary So Read The Entire Report Carefully

Views Of Home

Pictures
Photos



Few of front of house (South)



View of west side of home



View of east side of home



View of back of house (north)

Grounds

Service Walks

Public Sidewalk Condition Satisfactory

Service Walk Material Concrete

Condition Satisfactory

Comments Regarding Service Walks

Photos



Image of public walk



Image of service walks and stairs.

Driveway/Parking

Driveway Material Concrete

Driveway Conditions Marginal

Comments Regarding Driveway/Parking

Photos

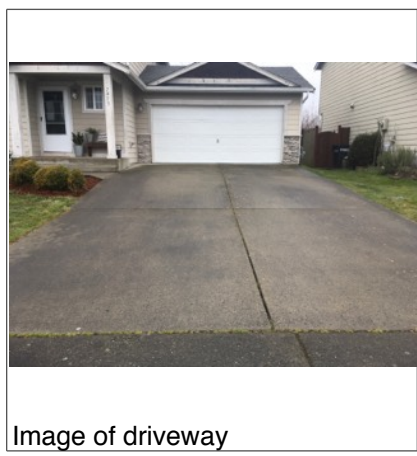


Image of driveway

Landscaping

Site Drainage N/A

Retaining Wall N/A

Comments Regarding Site Conditions The backyard was slightly muddy, but no surface water ponding was evident.

Stoops/Steps

Stoops/Steps Material Concrete

Stoops/Step Condition Satisfactory

Comments Regarding Stoops/Steps

Photos



Image of service walk and steps.

Porch

N/A

Patio

Patio Material Concrete

Patio Condition Satisfactory

Comments Regarding Patio

Photos



Image of concrete patio

Deck

N/A

Porch/Patio/Deck Cover

Cover Condition Marginal

Cover Recommend None

Cover Comments

Photos



Image of front entry door porch cover.



Image of house number that is visible from the street.



Image of porch cover column. The wood trim on the bottom of the column appears to have moisture intrusion. Recommend sealing and re-painting to prevent further moisture from entering wood.



Image of porch cover column. The wood trim on the bottom of the column appears to have moisture intrusion. Recommend sealing and re-painting to prevent further moisture from entering wood.

Fence

Fence Type Wood
Fence Condition Marginal
Gate Condition Marginal Operable: Yes
Comments Regarding Fence

Photos



View of fence/fence post on west side of building. The post is slightly loose and I would recommend further monitoring.



The fence door/gate is missing hardware to lock gate. Recommend repair/replacement by licensed contractor. The fence door binds against the post.



There are several fence posts located in the backyard that are leaning improperly. Recommend further evaluation/repair by licensed fencing contractor.

Exterior

Chimney(s)

None

Siding and Trim

Siding Material Wood

Siding Condition Marginal

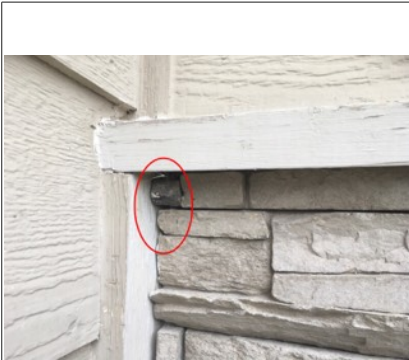
Protective Coatings/Paint Condition Marginal

Trim Materials Wood

Trim Condition Poor

Comments Regarding Trim See attached photographs. There are several locations that have damaged trim boards.

Photos



There are several loose pieces of applied masonry veneer on the right column next to the garage door. Recommend further evaluation/repair by licensed contractor.



Image of trim piece below sliding glass door. There appears to be moisture intrusion into the trim board below the sliding glass door. Recommend further evaluation/repair by licensed contractor.



Image of applied masonry (stone) veneer.



Trim board is damaged and has evidence of wood deterioration. Recommend further evaluation/repair by licensed contractor.



Image of damaged trim on south side of building. Recommend further evaluation/repair by licensed contractor.



There are several locations of improper nailing of siding. Recommend monitoring for possible water intrusion.



Image of damaged trim on west side of building. Recommend further evaluation/repair by licensed contractor.



Crack on siding board. Recommend sealing to prevent water intrusion.

Soffit and Fascia

Soffit Material Wood

Soffit Condition Marginal

Comments Regarding Soffit

Fascia Material Wood

Fascia Condition Marginal

Comments Regarding Fascia

Photos



Image of soffit



Image of fascia board on front of house. Recommend sealing/painting to reduce water penetration into wood.

Flashing and Caulking

Flashing Material Aluminum/Steel

Flashing Condition Marginal

Chalking Condition Marginal Recommend repair and doors/windows

Photos



Check caulking around windows and doors along this edge.

Exterior Doors

- Condition Of Front Door Satisfactory
- Condition Of Back Door N/A
- Condition Of Patio/Deck Door Marginal
- Condition Of Side/Garage Pedestrian Door N/A

Photos

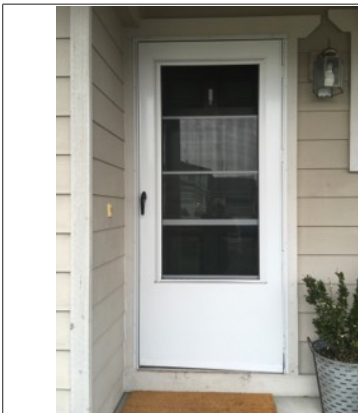


Image of storm door on front entry way.

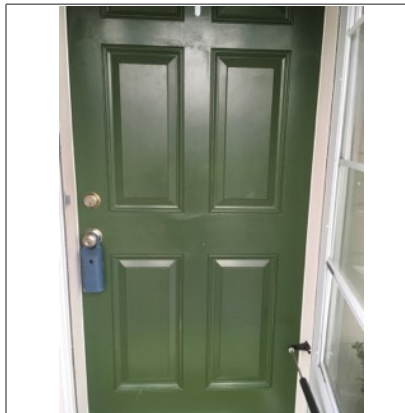


Image of front entry door.



There appears to be rubbing around the hinge on the entryway storm door. Recommend further monitoring.

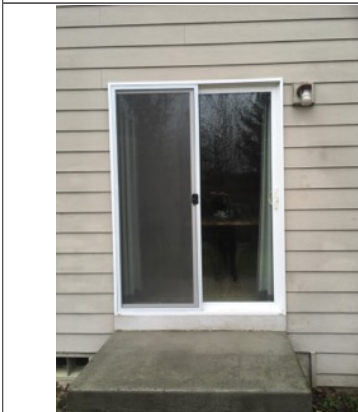


Image of patio sliding glass door.



Image of damage to screen on sliding glass door. Recommend further evaluation/repair by licensed contractor.

Exterior

Exterior Windows

Exterior Window Material Vinyl

Exterior Window Condition Marginal

Screen Condition Torn

Comments Regarding Exterior Windows There are some windows/door screens that have damage.

Photos



Image of exterior window. All windows are same make/material as picture in this photo.



There is a crack in the siding above the window located on right side of the front of structure. This crack could be allowing water/moisture to enter the wall envelope. Recommend further evaluation/repair by licensed contractor.



There is a crack in the siding below the window located on right side of the front of structure. This crack could be allowing water/moisture to enter the wall envelope. Recommend further evaluation/repair by licensed contractor.



View of window in back of house.

Foundation and Exterior Wall

Foundation Wall Type Poured concrete

Foundation Wall Condition Satisfactory

Concrete Slab Condition N/A

Comments Regarding Foundation

Exterior Wall Construction Not Visible

Exterior Wall Condition Not Visible

Exterior

Foundation and Exterior Wall cont.

Comments Regarding Exterior Wall

Photos



Image of poured concrete foundation.

Exterior Receptacles and Hose Bibs

Exterior Receptacles Condition Operable?: Yes Weatherproof outlet cover?: Yes GCFI Protected?: Yes

Comments Regarding Exterior Receptacles

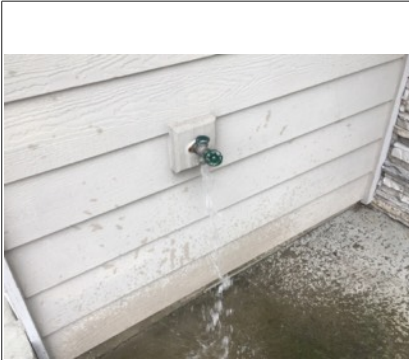
Hose Bib(s) Condition Operable?: Yes Anti syphon device installed? : Yes

Water Pressure Water pressure tested at secondary hose bib (PSI): 40

Comments Regarding Hose Bib(s)

Miscellaneous House numbers visible from street?: Yes Doorbell working?: No

Photos



View of water running from front of house hose bib.



Image of water running from back of house hose bib.



Image of tested outlet on east side of building.



Image of tested outlet on north side of building.

Roof

Style of Roof

Roof Inspected From Ladder at eaves Drone Access restricted by: Weather conditions

Visibility Limited

Type Gable Hip

Pitch Medium

Roofing Material Asphalt Shingles Number Of Layers: One

Comments Regarding Style Of Roof Roof inspection was completed from observations made by views from ladder and drone footage. There was moss/mold build-up on shingles and evidence of granule loss in gutter system which walking on surface could result in damage.

Condition Of Roof Covering

Condition Of Roof Covering #1 Roof Material: : Asphalt Shingles Marginal Missing granules
 Recommend licensed roofer evaluation

Comments Regarding Roof Covering #1

Condition Of Roof Covering #2 Roof Material: : Asphalt Shingles (Garage) Marginal Missing granules
 Recommend licensed roofer evaluation

Comments Regarding Roof Covering #2

Photos



Moss (mold) build-up on roof coverings. Recommend further evaluation by licensed roofing contractor.



Asphalt shingle granules are evident in gutter system.



There is build-up in the gutter on the north side of the building. Recommend cleaning out debris.



Moss/Mold build-up on roofing materials. Recommend further evaluation/repair by licensed roofing contractor.



Asphalt shingle granules evident in gutter system.



Asphalt shingle granules evident in gutter system.

Roofing Valleys

Material Not visible

Roof

Roofing Valleys cont.

Comments Regarding Roofing Valley

Ventilation

Roofing Ventilation Limited Visibility

Type Of Roofing Ventilation Soffit Roof

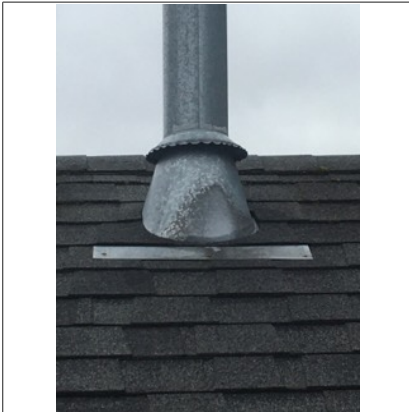
Comments Regarding Roof Ventilation

Plumbing and Heating Ventilation Limited Visibility

Condition Of Plumbing And Heating Ventilation Marginal

Comments Regarding Plumbing And Heating Ventilation

Photos



View of HVAC exhaust vent and flashing



Image of roof venting (multiple vents on roof)



Image of moss/mold build-up on shingles. Roof vents near ridge.



Image of plumbing vents on roof

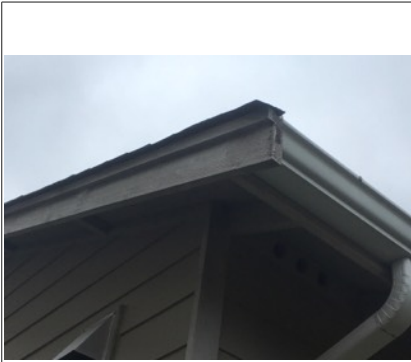
Flashing

Material Not Visible

Condition Missing

Comments Regarding Flashing

Photos



Rake and drip edge flashing has not been installed.



Missing kick out roof flashing. Recommend further evaluation/repair by licensed roofing contractor.

Skylights

N/A

Gutters/Downspouts

Material Vinyls/Plastic

Evidence Of Leaking No apparent leaks

Extension Needed N/A

Attachment Loose

Condition Marginal

Comments Regarding Gutters/Downspouts

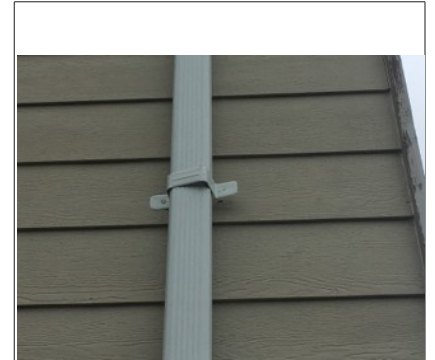
Photos



Image of gutter/drain system



Loose downspout attachment. Recommend further evaluation/repair by licensed contractor.



Loose downspout attachment. Recommend further evaluation/repair by licensed contractor.

Garage/Carport

Type Of Garage

Garage Type Attached 2-Car

Garage Construction Roofing: Same as house Gutters/Downspouts: Same as house Siding: Same as house
Trim: Same as house

Type Of Garage Sill Plate Not Visible

Comments Regarding Garage Sill Plate Sill plate not visible in garage.

Photos

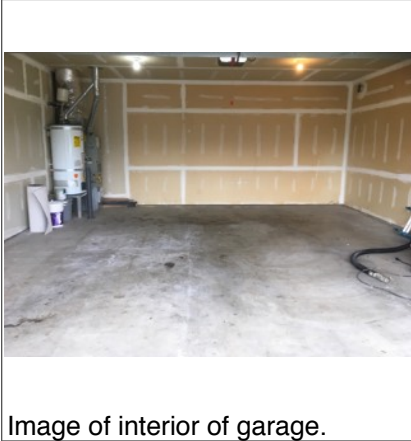


Image of interior of garage.

Overhead Garage Door System

Material Of Garage Door Fiberglass

Condition Of Garage Door Marginal

Condition Of Automatic Garage Door Opener Operable

Condition Of Garage Door Safety System Operable

Testing Of Garage Door Safety System Tested Electronic Eye Sensor: Yes Tested Pressure Automatic Reverse: Yes

Comments Regarding Overhead Garage Door System

Photos

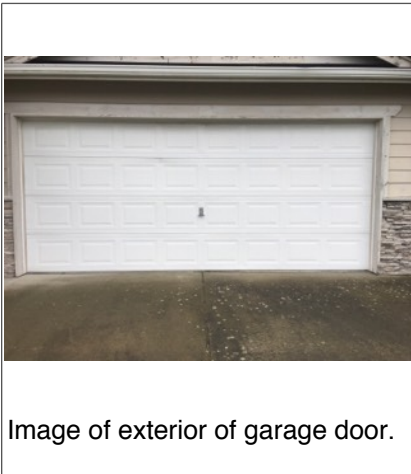


Image of exterior of garage door.

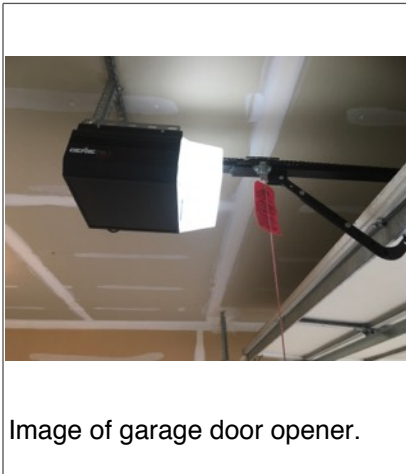


Image of garage door opener.

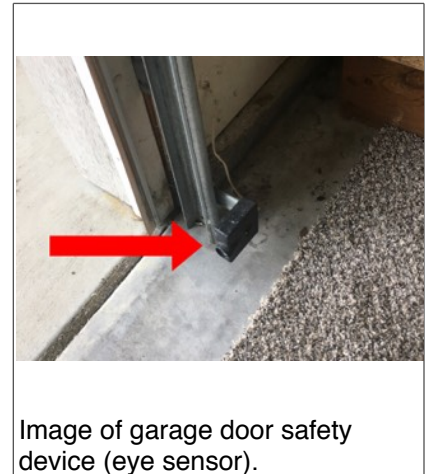


Image of garage door safety device (eye sensor).



There are several cracks on the insulated panel on the garage door (interior side) Recommend further monitoring.



There are several cracks on the insulated panel on the garage door (interior side) Recommend further monitoring.

Garage Floor

Material Of Garage Floor Concrete
Condition Of Garage Floor Satisfactory
Source of Ignition within 18" of the floor No

Photos

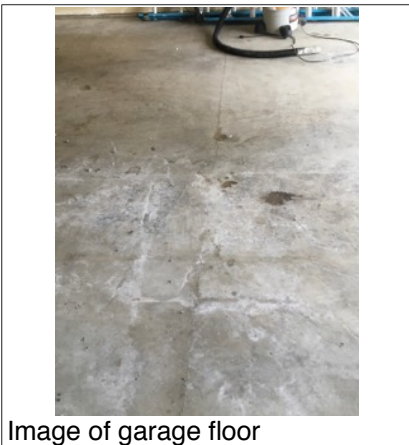


Image of garage floor

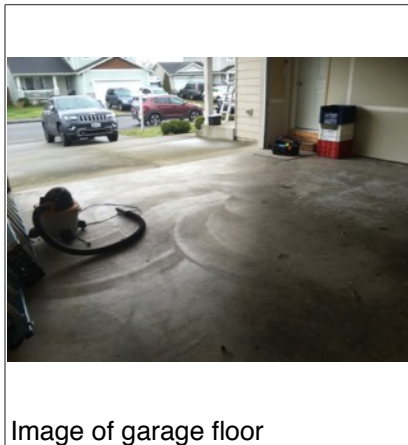


Image of garage floor

Electrical Receptacles

Yes Operable: Yes

Reverse polarity No

Open ground No

GFCI Present Yes

Comments The exterior GFCI protected outlets are controlled by the receptacle next to the electrical service panel in the garage.

Photos



Image of tested GCFI electrical outlet on interior of garage.

Fire Separation Walls & Ceiling

- Present
- Condition Satisfactory
- Moisture Stains Present No
- Typical Cracks Yes
- Fire door Satisfactory
- Self closure Inoperative
- Comments Fire door is rated for 20 minutes.

Photos



The garage door does not automatically/properly close. This could be a SAFETY ISSUE and should be evaluated/repared by licensed contractor.



Damaged weatherstripping on garage door (into house). Recommend further evaluation/repair by licensed contractor.



Image of manufacture's tag of the door into/exit from garage.

Detached Garage/Carport Structure

- N/A

Kitchen

Countertops

Condition Satisfactory

Cabinets

Condition Satisfactory

Plumbing

Faucet Leaks No

Pipes leak/corroded No

Sink/Faucet Chipped Recommend repair

Functional drainage Satisfactory

Functional flow Satisfactory

Photos

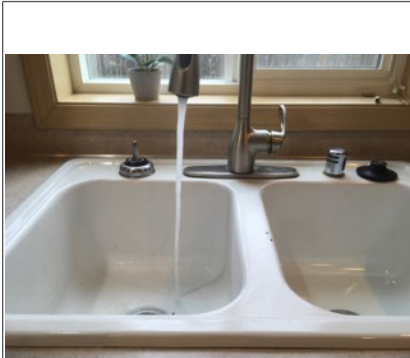
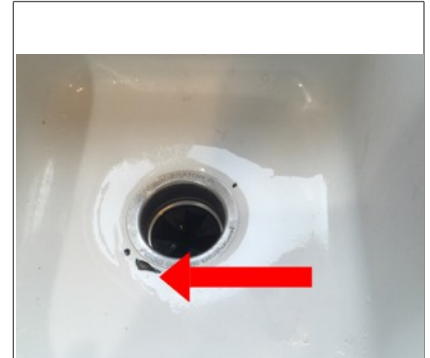


Image of water running in sink.



Image of plumbing under kitchen sink.



Sink surface has chips in finish. Recommend repair by licensed plumbing contractor.

Walls & Ceiling

Condition Satisfactory

Heating/Cooling Source

Yes

Floor

Condition Satisfactory

Photos

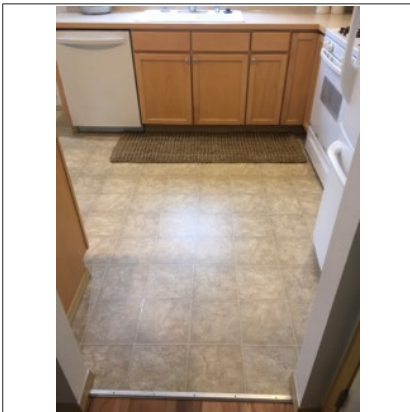


Image of kitchen floors.

Appliances

Disposal Operable: Yes

Kitchen

Appliances cont.

Oven Operable: Yes Anti-tip Device Installed?: Equipped

Range N/A

Dishwasher Operable: Yes

Trash Compactor N/A

Exhaust fan Operable: Yes

Refrigerator Operable: Yes

Microwave N/A Operable: Yes

Other : N/A Operable: No

Dishwasher airgap Yes

Dishwasher drain line looped Yes

Receptacles present Yes Operable: Yes

GFCI Yes Operable: Yes

Open ground/Reverse polarity: No

Comments Oven tested to 350 degrees. Microwave not tested due to non-permanent mounting of unit. Dishwasher drained once during inspection.

Photos



Image of gas stove. All burners operable.



Image of interior of refrigerator.



The light bulb cover on the kitchen hood is cracked/damaged. Recommend repair by licensed contractor. The exhaust filter is dirty and should be cleaned.



Image of tested GFCI outlet. The GFCI reset is located under the microwave shelf.

Dining Room

Dining Room

Walls & Ceiling Satisfactory

Moisture stains No

Floor Satisfactory

Ceiling fan N/A

Electrical Switches: Yes Operable Receptacles: Yes Operable

Heating source present Yes

Doors Satisfactory

Windows Satisfactory

Holes N/A

Location Within Structure Location: Attached to kitchen

Photos

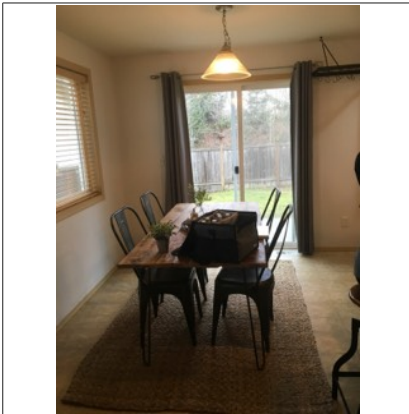


Image of dining room

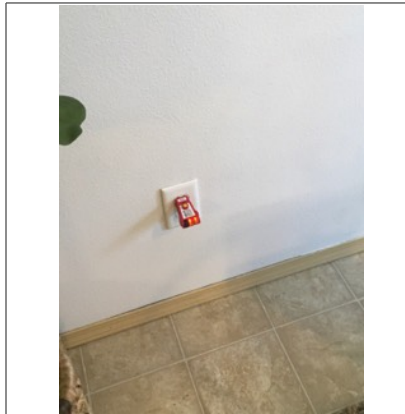


Image of tested outlet.

Living Room

Living Room

Walls & Ceiling Satisfactory

Moisture stains No

Floor Satisfactory

Ceiling fan N/A

Electrical Switches: Yes Operable Receptacles: Yes Operable

Heating source present Yes

Doors N/A

Windows Satisfactory

Holes N/A

Location Within Structure Location: Next to dining room

Photos

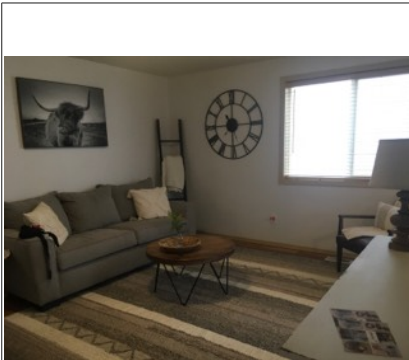


Image of living room

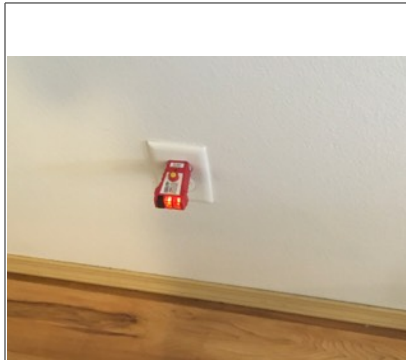


Image of tested electrical outlet.



Image of thermostat located in living room.

Interior

Fireplace

None

Photos

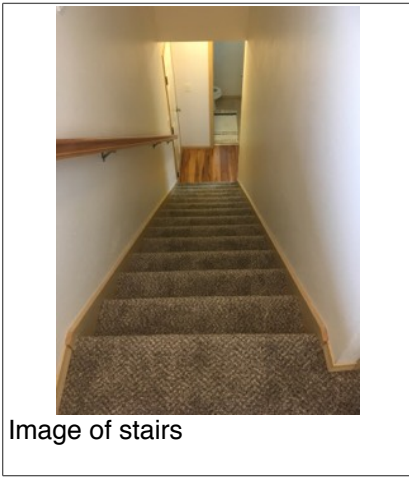


Image of stairs



Recommend adding lighting above stairs for safety.



Image of carbon monoxide detector on 2nd story (in hallway)

Stairs/Steps/Balconies

Condition Satisfactory

Handrail Satisfactory

Risers/Treads Satisfactory

Comments

Smoke/Carbon Monoxide detectors

Smoke Detector Present Operable: Not tested

CO Detector Present Operable: Not tested

Photos



Image of smoke detector in 2nd story hallway.

Attic/Structure/Framing/Insulation

Access Scuttlehole/Hatch

Inspected from Access panel

Location Hallway

Flooring None

Insulation Fiberglass Loose Depth: Near R50

Installed in Between ceiling joists

Vapor barriers Not Visible

Ventilation Ventilation appears adequate

Fans exhausted to Attic: No

Interior

Attic/Structure/Framing/Insulation cont.

- HVAC Duct Satisfactory
 - Chimney chase N/A
 - Structural problems observed No
 - Roof structure Trusses Wood
 - Ceiling joists Wood
 - Sheathing OSB
 - Evidence of condensation No
 - Evidence of moisture No
 - Evidence of leaking No
 - Firewall between units N/A
 - Electrical No apparent defects
- Photos

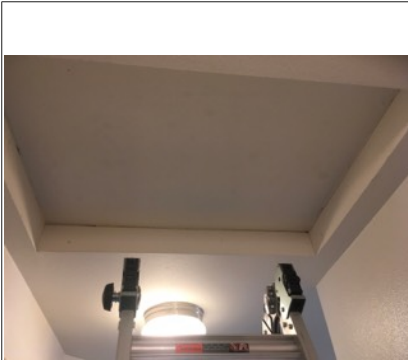


Image of attic hatch located next to laundry room.

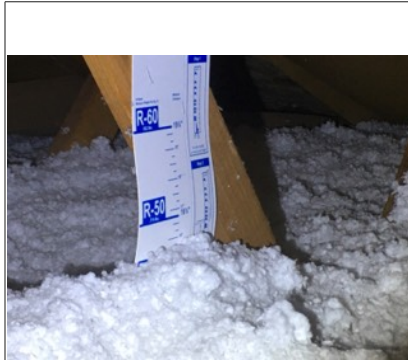


Image of attic insulation. Thickness gauge indicates close to R50.

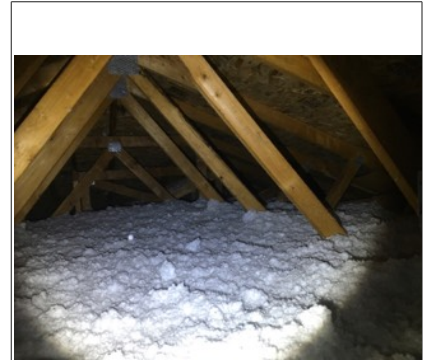


Image of insulation and trusses in attic.



Image of OSB roof sheathing inside attic.



Roofing nails slightly rusty inside attic. Recommend further monitoring for possible issues with ventilation.



Several insulation baffles have come loose from the trusses. Recommend reattaching baffles to roof trusses.

Master Bedroom

Master Bedroom

Walls & Ceiling Condition Satisfactory

Moisture stains No

Floor Condition Satisfactory

Ceiling Fan Condition N/A

Electrical Switches: Yes Operable Receptacles: Yes Operable

Heating source present Yes

Bedroom Egress restricted No

Door(s) Condition Satisfactory

Window(s) Condition Satisfactory

Holes N/A

Installed Smoke detector Yes

Photos

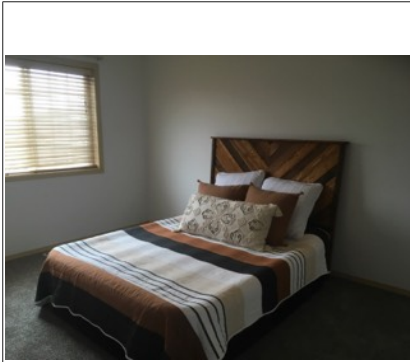


Image of master bedroom



Image of tested electrical outlet

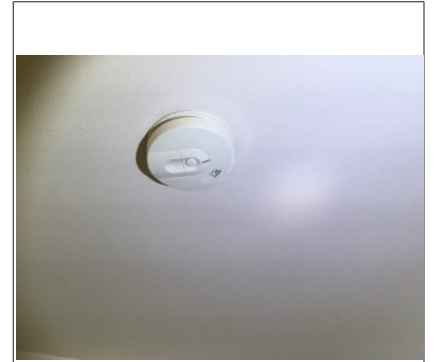


Image of smoke detector



Image of damaged cord on master bedroom blinds.



Image of master bedroom walk-in closet.

Master Bathroom

Master Bathroom

Toilet Operable: Yes Toilet Loose: No
Sink(s) Operable: Yes Faucet Leaks: No Pipes Leak: No
Shower/Tub Combination Material: Ceramic/Plastic Faucet Leaks: No Pipes Leak: No
 Chalking/Grouting Needed: Yes

Shower N/A
Garden/Soaking Tub N/A
Whirlpool Tub N/A
Water Flow Satisfactory
Drainage Marginal
Doors Satisfactory
Windows Satisfactory

Exhaust Fan Operable: Yes Needs To Be Cleaned: Yes Noisy: No

Electrical Receptacles Working: Yes Outlets GCFI: Yes

Heat Source Present Yes

Moisture Stains Present No

Comments Regarding Master Bathroom Shower head was not tested at time of inspection. I attempted to operate handle and could not get water flow to shower head.

Photos

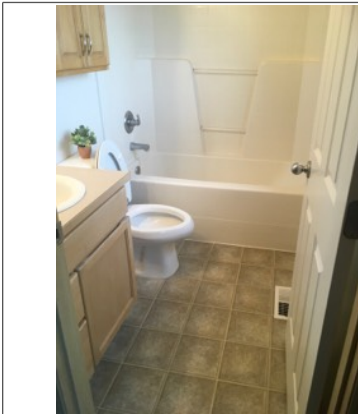


Image of master bathroom

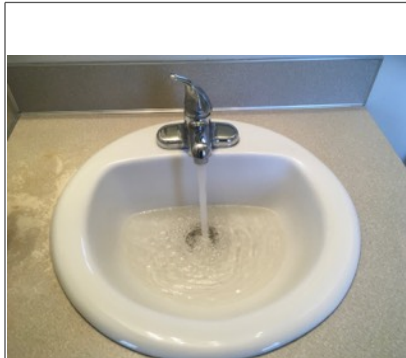


Image of running water in sink

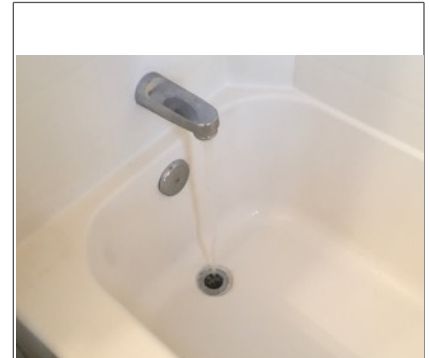


Image of running water in tub

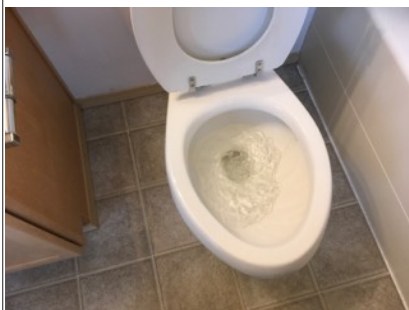


Image of running water in toilet

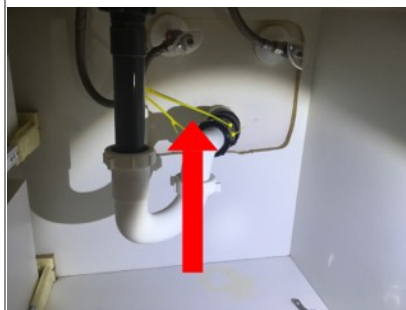


Image of plumbing under sink. Improper use of zip tie for plumbing support. Recommend replacement.

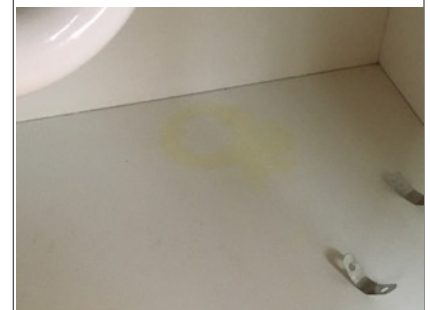


Image of stain under sink.



Missing caulking around bottom of shower/tub to prevent water intrusion into flooring.

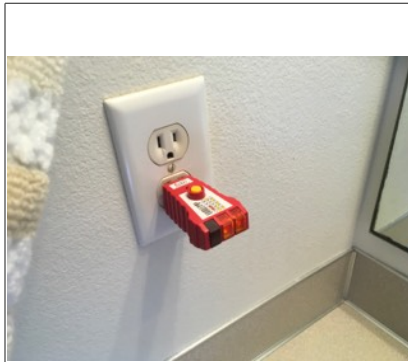


Image of testing of electrical receptacle.

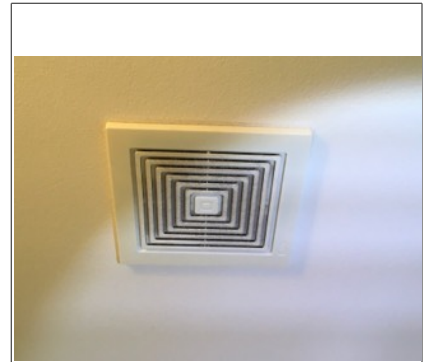


Image of exhaust fan. Recommend cleaning to allow proper airflow.



Rust evident on shower curtain rod.



The tub stopper is missing and should be replaced.



Damaged window screen

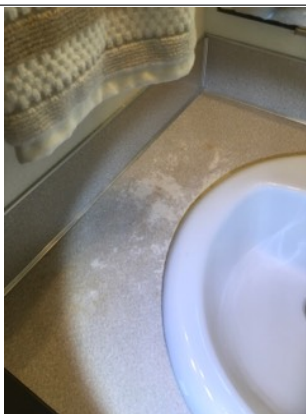


Image of stains on countertop surface

Bedroom (#1)

Bedroom

Walls & Ceiling Condition Marginal

Moisture stains No

Floor Condition Marginal

Ceiling Fan Condition N/A

Electrical Switches: Yes Operable Receptacles: Yes Operable

Heating source present Yes

Bedroom Egress restricted No

Door(s) Condition Satisfactory

Window(s) Condition Satisfactory

Holes N/A

Installed Smoke detector Yes

Location Within Structure Location: next to master bedroom

Photos

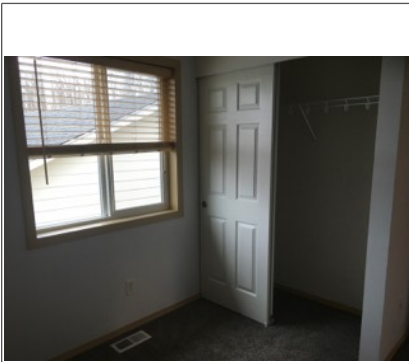
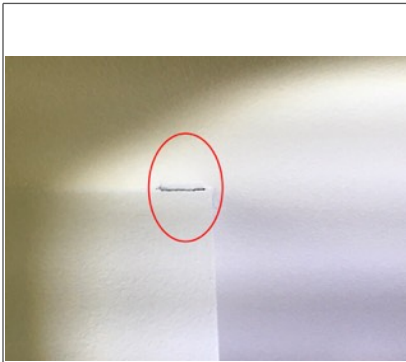


Image of bedroom



Crack along wall/ceiling seem above closet door. Recommend further monitoring.

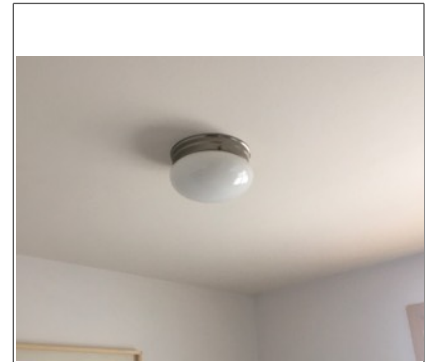


Image of light in bedroom. Light was not operational when I inspected this room, but later was found to be working.

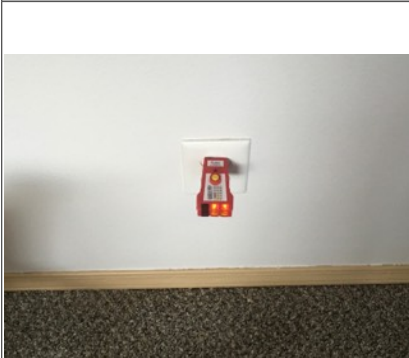


Image of tested electrical outlet in bedroom

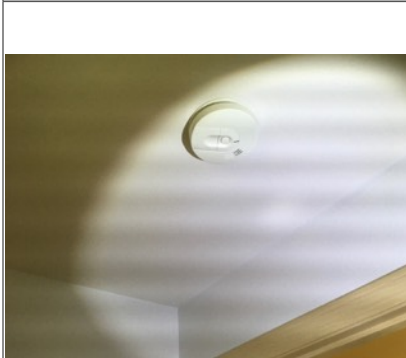


Image of smoke detector

Bedroom (#2)

Bedroom

Walls & Ceiling Condition Satisfactory

Moisture stains No

Floor Condition Satisfactory

Ceiling Fan Condition N/A

Electrical Switches: Yes Operable Receptacles: Yes Operable

Heating source present Yes

Bedroom Egress restricted No

Door(s) Condition Satisfactory

Window(s) Condition Satisfactory

Holes N/A

Installed Smoke detector Yes

Location Within Structure Location: Next to bathroom on 2nd story

Photos

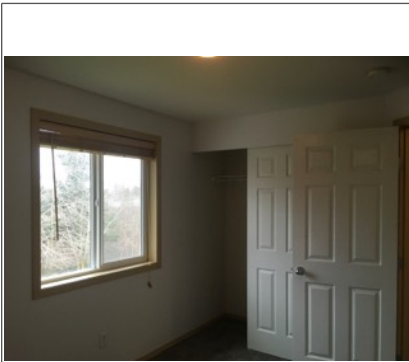


Image of second bedroom

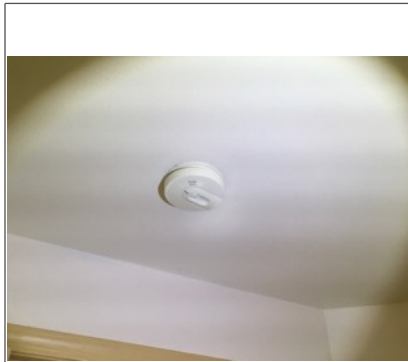


Image of smoke detector



Image of tested electrical outlet

Bedroom (#3)/Office

Bedroom

Walls & Ceiling Condition Satisfactory

Floor Condition Satisfactory

Ceiling Fan Condition N/A

Electrical Switches: Yes Operable Receptacles: Yes Operable

Heating source present Yes

Bedroom Egress restricted No

Door(s) Condition Satisfactory

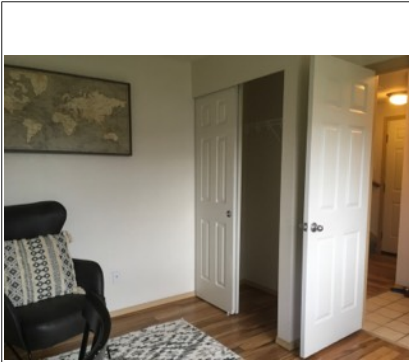
Window(s) Condition Satisfactory

Holes N/A

Installed Smoke detector Yes

Location Within Structure Location: 1st story, near entry door

Photos



View of 3rd bedroom/office.

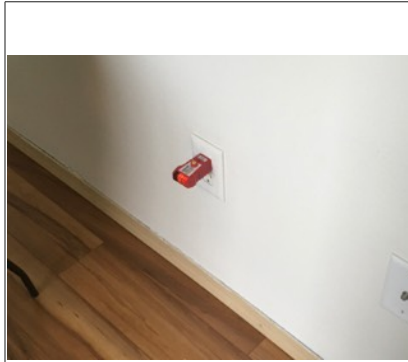


Image of tested electrical outlet.

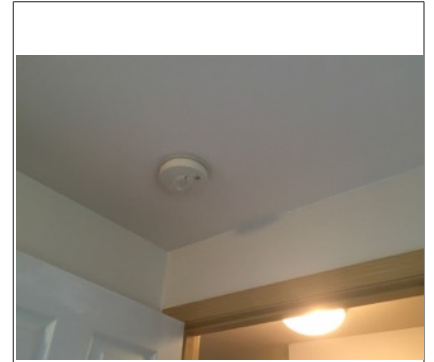


Image of smoke detector

Bathroom (1st story)

Bath

Toilet Operable: Yes Toilet Loose: No
Sink(s) Operable: Yes Faucet Leaks: No Pipes Leak: No
Shower/Tub Combination N/A
Shower N/A
Garden/Soaking Tub N/A
Whirlpool Tub N/A
Water Flow Satisfactory
Drainage Satisfactory
Doors Satisfactory
Windows Satisfactory
Exhaust Fan Operable: Yes Needs To Be Cleaned: No Noisy: No
Electrical Receptacles Working: Yes Outlets GCFI: Yes
Heat Source Present Yes
Moisture Stains Present Location: Floors
Photos

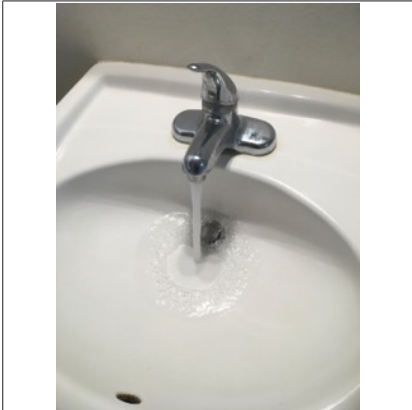


Image of running water in sink

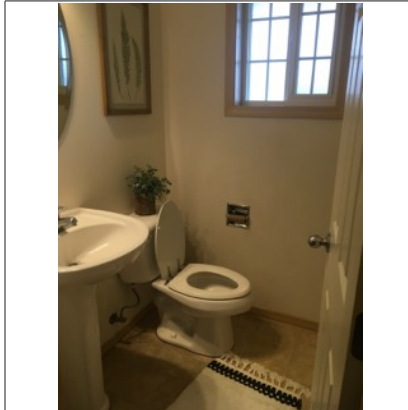


Image of bathroom

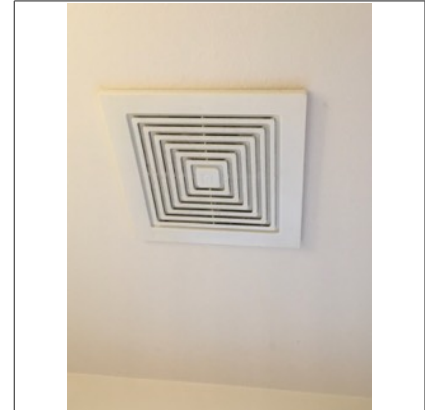


Image of exhaust fan

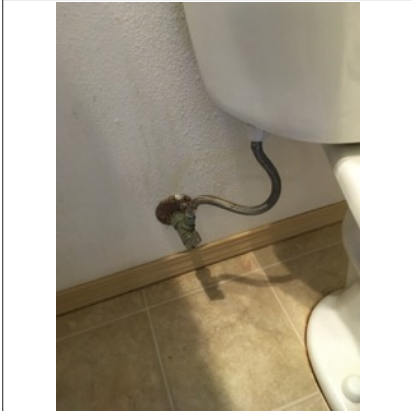


Image of water connection to toilet.



Image of stains on floor. No active water leak present.

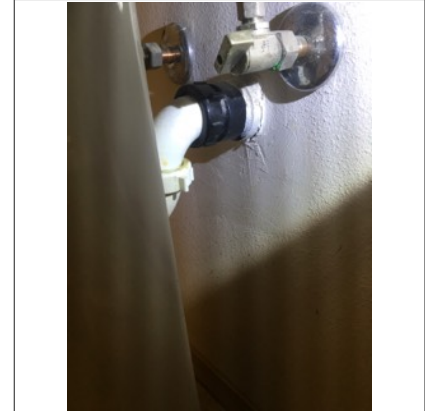


Image of plumbing behind sink

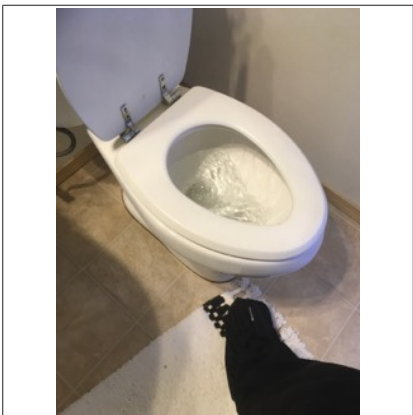


Image of water flow in toilet.

Bathroom (2nd story)

Bath

Toilet Operable: Yes Toilet Loose: No

Sink(s) Operable: Yes Faucet Leaks: No Pipes Leak: No

Shower/Tub Combination Material: Ceramic/Plastic Condition: Marginal Faucet Leaks: No Pipes Leak: No Chalking/Grouting Needed: Yes

Shower N/A

Garden/Soaking Tub N/A

Whirlpool Tub N/A

Water Flow Satisfactory

Drainage Satisfactory

Doors Satisfactory

Windows Satisfactory

Exhaust Fan Operable: Yes Needs To Be Cleaned: Yes Noisy: No

Electrical Receptacles Working: Yes Outlets GCFI: Yes

Heat Source Present Yes

Moisture Stains Present No

Photos

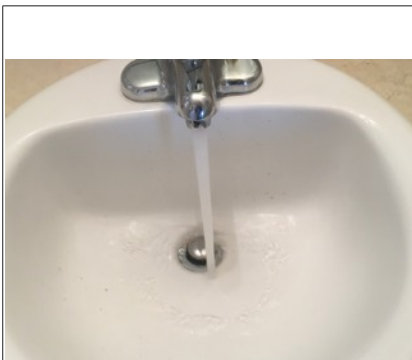


Image of water flow in sink.

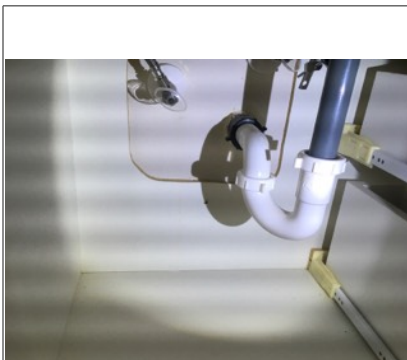


Image of plumbing under sink.

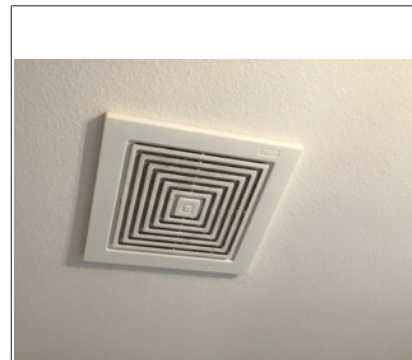


Image of exhaust fan. Recommend cleaning for better airflow.



Image of functioning toilet.



Image of build-up on shower head. Recommend cleaning/replacement if necessary.



Image of tested GCFI outlet in second bathroom. This GCFI outlet controls all three bathroom receptacles.

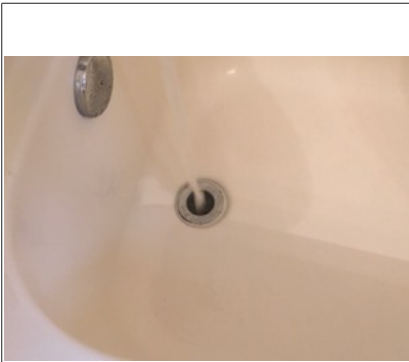


Image of water flow in bathroom. Stopper was not installed in this tub.



Water is 130 degrees out of 2nd bathroom tub. This could be a SAFETY ISSUE and recommend adjustment of temperature setting on hot water tank. If temperature cannot be adjusted properly I would recommend further evaluation/repair by licensed plumbing contractor.



Missing caulking around bottom of shower/tub to prevent water intrusion into flooring.

Laundry Room

Laundry Room

Laundry sink N/A

Electrical Receptacles working: Yes Receptacles GCFI: No Recommend GCFI

Heat source present No

Room vented Yes

Washer hook-up lines/valves Satisfactory

Dryer vented Wall

Gas shut-off valve Yes

Comments Regarding Laundry Room Appliances not present during the inspection.

Photos

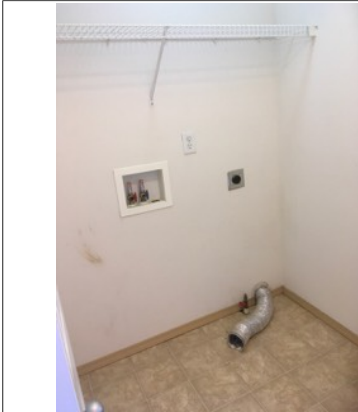


Image of laundry room

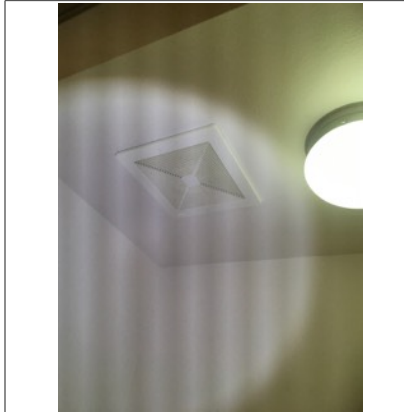


Image of exhaust fan

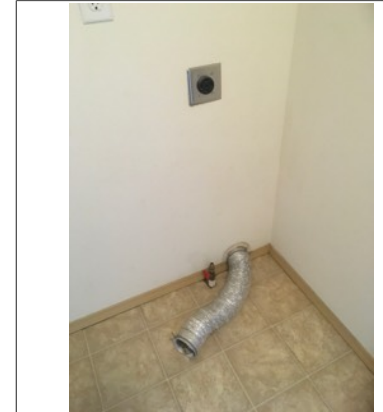


Image of natural gas and electrical outlets. Dryer exhaust duct on right of picture.



Image of tested electrical outlet

Heating/Cooling System

Heating system

Unit #1 Location: Garage Brand Name: : Trane Model Number: : TDE060A936M2 Serial Number: : 52115DK1G
 Approximate Age: 16 Years

Overall Condition Of Unit Marginal Recommended HVAC technician evaluate

Controls And Operations Thermostat Located: Living room When turned on by thermostat: Fired
 Electrical disconnect installed?: No Gas shutoff valve installed?: Yes
 Normal operations and safety controls?: Yes

Energy Source Natural Gas

Heat Exchanger Not visible

Combustion Air Venting Present Yes

Flue Piping Satisfactory

Warm Air System Direct drive

Distribution System Insulated flexible duct Sub-Slab Ducting: N/A

HVAC Filters Standard

Heat Pump N/A

Carbon Monoxide Carbon monoxide not detected

Photos



Image of HVAC unit in garage



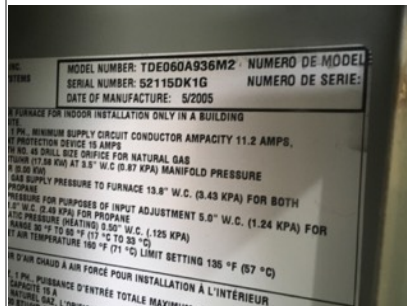
Image of filter door on HVAC unit. Recommend replacement of filters at regular intervals.



Flexible appliances connectors should not enter appliance cabinet. This could be a SAFETY ISSUE and recommend further evaluation/repair by licensed plumbing contractor.



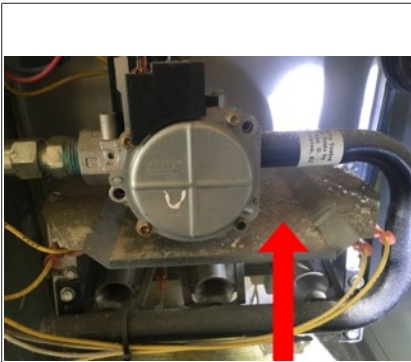
There appears to be mineral residue next to the draft inside HVAC unit. Recommend further evaluation by licensed HVAC contractor.



Data plate for HVAC.



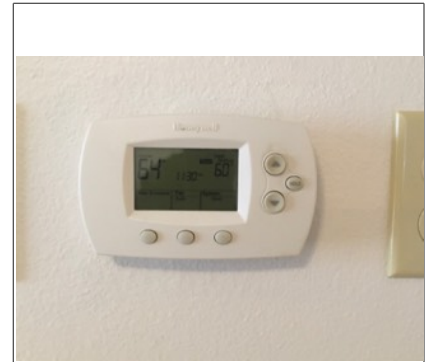
Image of burner ports on HVAC unit



There is residue/build-up inside HVAC unit. Recommend further evaluation by licensed HVAC contractor.



No carbon monoxide detected on HVAC register inside house.



Thermostat controls for HVAC located in family room.

Boiler system

N/A

Other systems

N/A

Evaporator Coil

N/A

Exterior A/C

N/A

Plumbing

Water service

Main shut-off location Inside garage

Water entry piping Not Visible

Lead other than solder joints Unknown

Visible water distribution piping Copper

Condition Satisfactory

Flow Marginal

Pipes Supply/Drain Satisfactory

Drain/Waste/Vent pipe PVC

Condition Satisfactory

Support/Insulation N/A

Traps proper P-Type Yes

Drainage Satisfactory

Interior fuel storage system No

Fuel line Black iron

Condition Satisfactory

Photos



Image of main water shutoff valve in garage

Main fuel shut-off location

Location Exterior of building- East side

Photos



Image of gas meter on east side of building

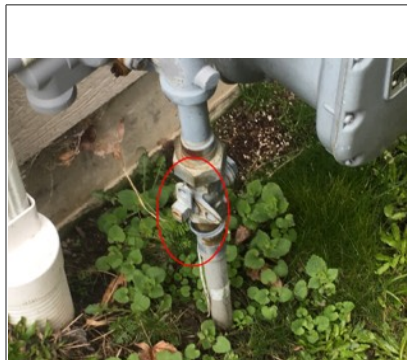


Image of gas shutoff valve

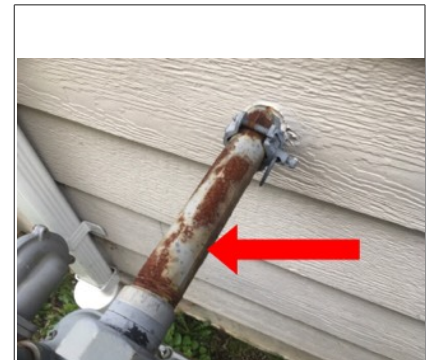


Image of rust on gas pipe entering building. Recommend further evaluation by licensed plumbing contractor.

Plumbing

Well pump

N/A

Sanitary/Grinder pump

N/A

Water heater #1

General Brand Name: Rheem Guardian
Serial #: RHLN 0305V22159
Capacity: 40 Gallons
Approx. age: 16 years

Type Gas

Combustion air venting present Yes

Seismic restraints needed No

Relief valve Yes

Vent pipe Satisfactory

Condition Satisfactory

Photos



Image of date plate

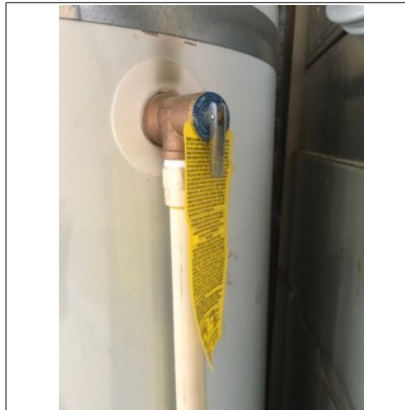


Image of TPR (Temperature/Pressure Release Valve)

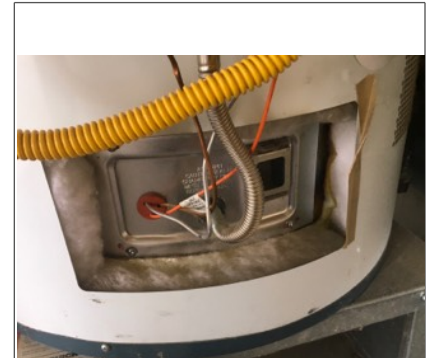


Image of interior of hot water tank- burner area.



Image of temperature setting (on HOT).



Image of appliance gas shutoff valve.

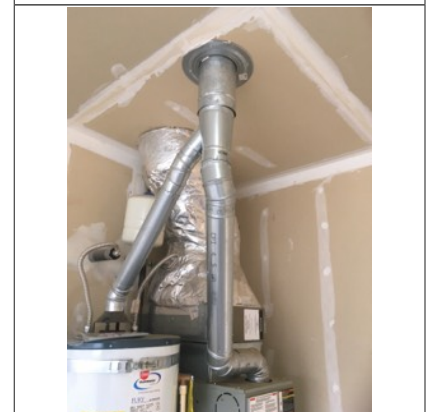


Image of exhaust ducting

Water softener

None

Electrical

Service Entrance

Location Location of service entrance: East side of building.

Condition Of Service Entrance Satisfactory

Mechanical Location: Service Lateral (under ground)
Comments Regarding Service Entrance:

Photos



Image of service meter.



Image of extra electric meter clamp. Unsure why this was left here.

Service Panel

Location Location of service panel: inside garage on east wall

Condition Of Service Panel Satisfactory

Amperage Of System Amps: 125 AMPS

Voltage Of System 120/240 volts

Service Entrance Conductor (main wire) Condition: Satisfactory Material: Aluminum

Branch Wire Conductors Condition: Satisfactory Material: Copper Type of conductors: NM cable

Mechanical Overcurrent device: Breakers Appears grounded: Yes Appears bonded: Yes
Proper clearance to panel: Yes Correct type/amount of fasteners: Yes

GCFI Breakers(s) Equipped: No Operable: N/A

AFCI Breakers Equipped: Yes Operable: Yes

Comments Regarding Service Panel:

Photos



Image of electrical service panel



Image of breakers

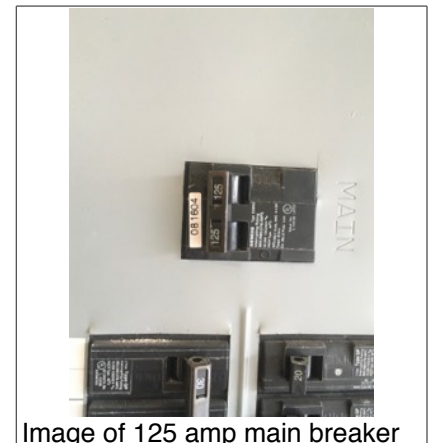


Image of 125 amp main breaker



Image of service entrance and branch wires



Image of bonding screw



Image of AFCI breakers (two of them inside panel)

Sub panel(s)

None apparent

Crawl Space

Crawl space

Type Combination basement/crawl space/slab
Conditioned (heated/cooled) No

Access

Location Exterior
Inspected from In the crawl space

Photos



Image of crawlspace access



Recommend sealing gap to prevent rodent access to crawlspace.

Foundation walls

Condition Satisfactory
Material Poured concrete

Photos



Image of poured concrete foundation walls

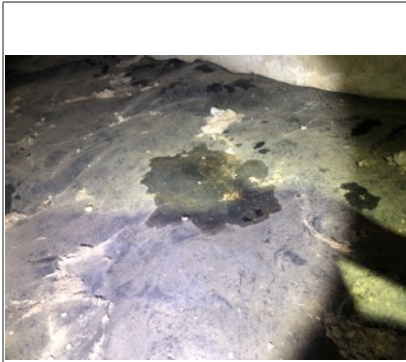
Floor

Material Gravel
Condition Vapor barrier present

Photos



Image of vapor retarder on top of gravel floor



There are several spots on vapor retarder that has evidence of water accumulation in the past. I could not find evidence of active water leak.

Seismic bolts

Condition Appear satisfactory

Photos



Image of seismic plate and bolt.

Drainage

Sump pump No

Standing water No

Evidence of moisture damage No

Ventilation

Location Wall vents

Condition Additional ventilation recommended

Comments Northeast corner may need monitoring for additional ventilation in crawl space .

Photos



Image of crawlspace vents



Insulation installed inside louvers of crawl space ventilation.



Insulation installed inside louvers of crawl space ventilation.



Crawl space ventilation covered/sealed on northeast corner of building. Recommend further evaluation by licensed contractor.

Girders/Beams/Columns

- Material Wood
- Condition Satisfactory
- Photos

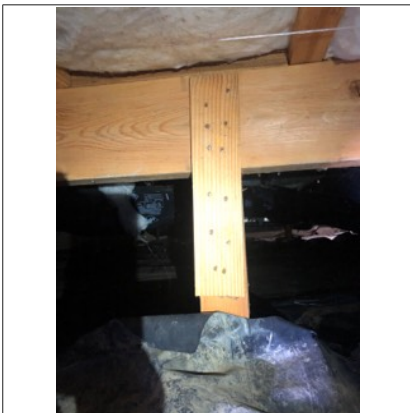


Image of beams/columns in crawl space.

Joists

- Material Wood Engineered I-Type
- Condition Satisfactory

Crawl Space

Subfloor

Not Visible

Insulation

Type Fiberglass

Location Between floor joists

Photos



There are several spots below kitchen that insulation is not properly installed against the subfloor. Recommend further evaluation/repair by licensed contractor.



On northeast corner of crawl space insulation is not properly installed against the subfloor. Recommend further evaluation/repair by licensed contractor.

Vapor barrier

Present Yes

Material Plastic

Condition Satisfactory

Photos

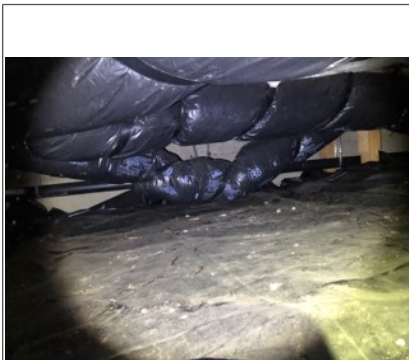


Image of vapor retarder.

Finalizing The Inspection

End Of The Inspection

Verify The Following Are Completed Before Leaving

- Bathroom(s) faucets are turned off
- Bathroom(s) GCFI are reset HVAC thermostat reset
- Oven/Range turned Off Kitchen GCFI are reset
- Blessing on the family and house