



Home Inspection Report



, Tulalip, Washington 98271

Inspection Date:

Wednesday, March 17, 2021

Prepared For:

Client Name

Prepared By:

Jason Cory

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TrinityInspectionServicesNW@gmail.com

Report Number:

0317202101

Inspector:

Jason Cory Washington State Inspector #21001447 WSDA Structural Pest Inspector #101652

License/Certification #:

21001447

Inspector Signature:

Report Overview

Scope of Inspection

Full pre-sale inspection.

Main Entrance Faces

North

State of Occupancy

Home is occupied (not at the time of the inspection).

Weather Conditions

Cold and sunny

Recent Rain

Not within last 48 hours

Approximate Age

House was built in 1979 (41 years)

Report Summary

Items Not Operating

All items operating at the time of the inspection.

Concerns- Major

I would recommend a licensed structural engineer to evaluate the attachment of the cantilevered deck to the cantilevered section of the home. According to IRC section 507.2, the band joist attached by a ledger shall be fully supported by a wall or sill plate below. I would also recommend further review of the fastener placement and spacing on the ledger. The deck appears to be sound, but I would recommend the evaluation out of caution. I'm unsure if the attachment method is approved by local building code.

The gutter system is rusted in several locations and is detached on the north side of the home. Recommend further evaluation/repair by licensed contractor.

Possible wood deterioration on the west side of the chimney enclosure. Recommend further evaluation/repair by licensed contractor.

Concerns- Other

- Both sections of the roof have moss growth and should be removed by a licensed roofing contractor.
- There are several locations on the siding, soffit, and fascia that need to be sealed/painted.
- The fireplace damper arm is not secured to the damper. Recommend further evaluation/repair by licensed chimney contractor.

Potential Safety Hazards- Electrical

I would recommend the following be evaluated/repared by a licensed electrical contractor:

- There is an open ground in the electrical receptacle in the garage (east side by garage door)
- The 30 amp breaker serving the hot water tank is showing signs of being hotter than the other breakers in the thermal imaging of the breaker panel. This could be caused by the age of the breaker, the size of the conductor, or the demand placed on the conductor.

Potential Safety Hazards- Other

I would recommend the following be evaluated/repared by licensed contractor:

- The garage door (vehicle) is not protected by either the eye sensor or the pressure triggered automatic reverse.
- Hot water temperature should be reduced below 120 degrees
- The garage door (into the home) should be equipped with an automatic closure device.
- The handrail going down to the 1st floor (from the landing) should connect directly with the wall. There should be no gap between the end of the railing and the wall.

Deferred Cost Items

The following items should be budgeted for future upgrading or replacement due to age or efficiency of the unit:

- Water Heater (16 years old)
- Electrical Furnace (age could not be determined)

Not All Deficiencies Are Listed On This Summary (Read Entire Report)

Views Of Home

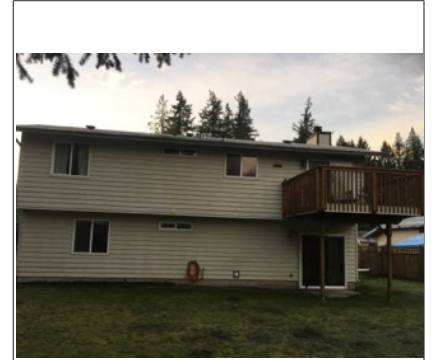
Pictures Photos



View at front of home



View of west side of home



View of back of home



View of east side of home



View of storage shed not evaluated during inspection



Image of damaged roofing material on shed not evaluated during inspection

Grounds

Service Walks

Public Sidewalk Condition Satisfactory

Service Walk Material Concrete

Condition Marginal

Comments Regarding Service Walks

Photos



Image of public sidewalks

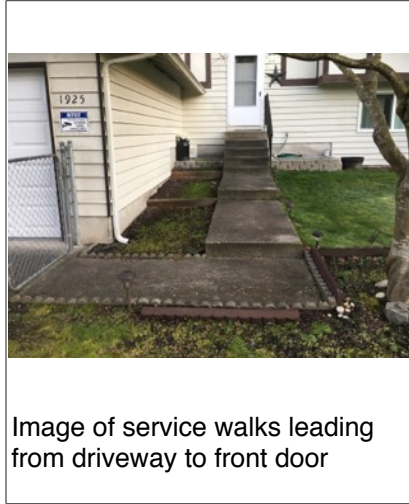


Image of service walks leading from driveway to front door



Image of service walks with cracks evident on each step heading towards house

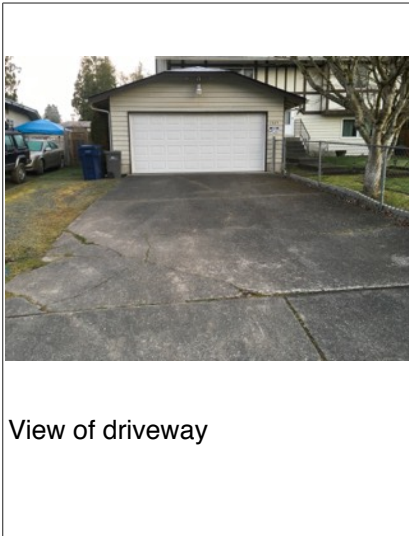
Driveway/Parking

Driveway Material Concrete

Driveway Conditions Marginal Typical cracks

Comments Regarding Driveway/Parking

Photos



View of driveway



Image of driveway with cracks to concrete. Recommend further evaluation/repair by licensed contractor.

Landscaping

Site Drainage N/A

Trees And Shrubs Improper contact/clearance to siding or roof

Retaining Wall N/A

Photos



Image of shrubs in close proximity to siding and soffit. Recommend trimming shrubs back to allow for ventilation.



Image of conductive material next to siding/foundation. Recommend moving firewood away from structure to reduce possibility of wood destroying organisms.

Stoops/Steps

Stoops/Steps Material Concrete
Stoops/Step Condition Satisfactory

Comments Regarding Stoops/Steps

Photos

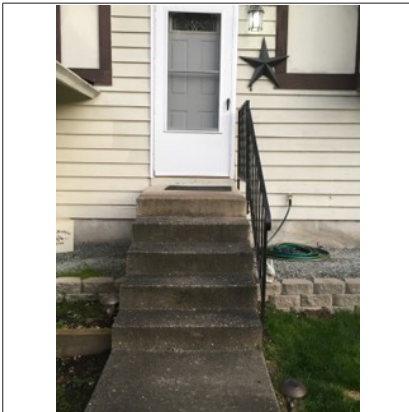


Image of stairs leading to front door



Image of crack at the base of the stairs leading to front door. This crack was probably due to shifting/settling of the stair foundation. Recommend further monitoring.



Image of crack at the top of the stairs leading to front door. This crack was probably due to shifting/settling of the stair foundation. Recommend further monitoring.

Porch

N/A

Patio

Patio Material Concrete
Patio Condition Satisfactory

Comments Regarding Patio

Photos

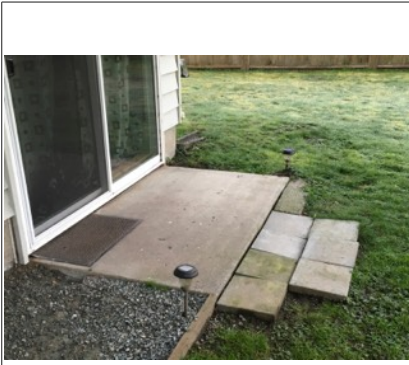


Image of concrete patio.



Image of loose and uneven pavers at end of patio. Recommend leveling pavers to reduce trip/fall injury

Deck

Deck Flooring Material Wood Finish: N/A

Deck Flooring Condition Marginal

Deck Railing Material Wood Finish: N/A

Deck Railing Condition Satisfactory

Deck Construction Condition Poor Improper attachment to structure Improper flashing/sealing

Comments Regarding Deck I would recommend a licensed structural engineer to evaluated the attachment of the cantilevered deck to the cantilevered section of the home. According to IRC section 507.2, the band joist attached by a ledger shall be fully supported by a wall or sill plate below. I would also recommend further review of the fastener placement and spacing on the ledger. The deck appears to be sound, but I would recommend the evaluation out of caution. I'm unsure if the attachment method is approved by local building code.

Photos



Image of rusted deck post bracket and slight damaged to wood on lower right corner. Recommend further evaluation/repair by licensed contractor.



There should be 2" spacing of the fasteners from the ledge board edge and 5" staggered between fasteners. Recommend further evaluation/repair by licensed contractor.



Image of the cantilevered deck attached to the cantilevered section of the house. See statement.

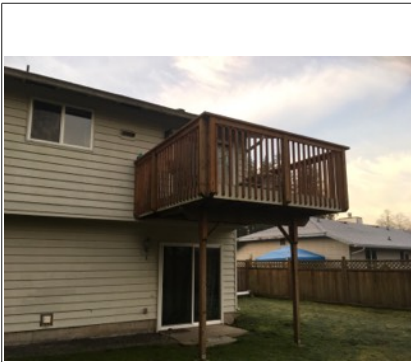


Image of deck structure at back of house



Image of bowed floor joist. Recommend further evaluation/repair by licensed contractor.



Image of improperly installed caulking under the ledger board. Water that drops down from the top of the ledger board could become trapped by the caulking on the bottom. Recommend further evaluation/repair by licensed contractor.



Image of cross-bracing of deck



Image of beam and post attachments.



Image of potential wood deterioration of decking surface. Recommend further evaluation/repair by licensed contractor.

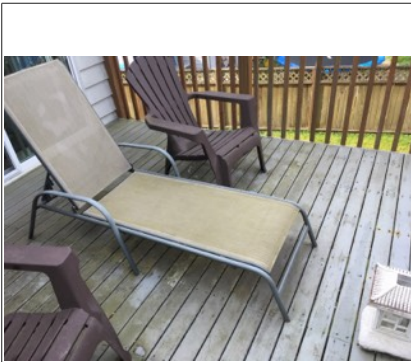


Image of deck surface.

Porch/Patio/Deck Cover

N/A

Fence

Fence Type Wood Chain Link

Fence Condition Marginal

Gate Condition Satisfactory Operable: Yes

Comments Regarding Fence

Photos



Image of wood rot along bottom of fence.

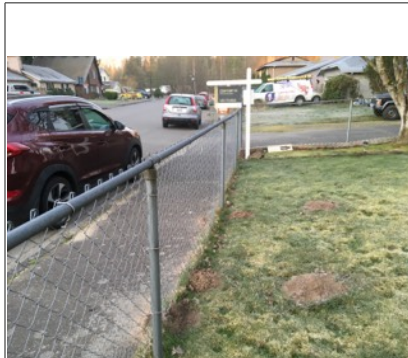


Image of chain link fence on front of property



Image of loose fence post on south side of property. Recommend further monitoring.

Exterior

Chimney(s)

Location(s) The location of the chimney was on the east side of the house,

Viewed From Roof Ground (Inspection Limited)

Rain Cap/Spark Arrestor Yes

Chase Framed

Evidence of Rust

Flue Metal

Evidence of No apparent defects

Condition Marginal

Photos



Image of possible wood deterioration on chimney enclosure on west side of chase. Recommend further evaluation/repair by licensed contractor.

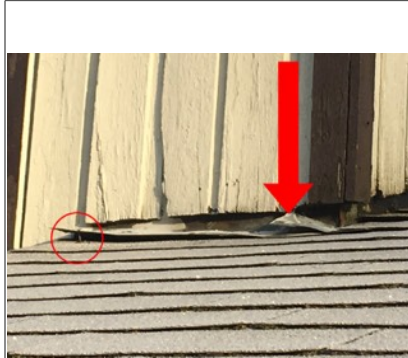


Image of loose flashing around chimney enclosure (Arrow) and nail coming out roof/flashing (Circle). Recommend further evaluation/repair by licensed roofing contractor.

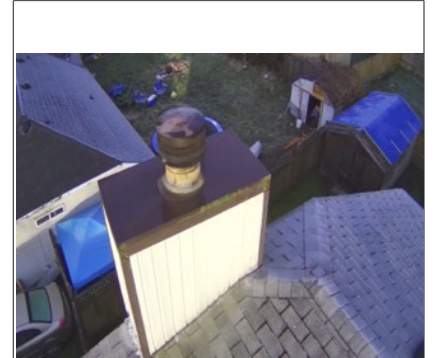


Image of metal chimney cap with spark arrestor in place.

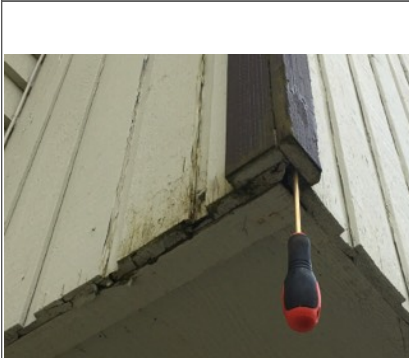


Image of wood rot on bottom of chimney enclosure. Recommend further evaluation/repair by licensed contractor.

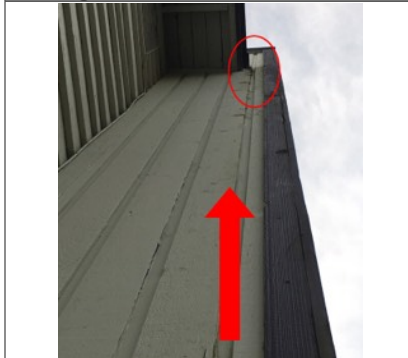


Image of potential wood damage along chimney enclosure. Potential issue extends from the top of the enclosure/roof joint to bottom of enclosure.

Siding and Trim

Siding Material Wood

Siding Condition Marginal

Protective Coatings/Paint Condition Poor Recommend repair/painting

Comments Regarding Siding

Trim Materials Wood

Exterior

Siding and Trim cont.

Trim Condition Marginal

Comments Regarding Trim

Photos



Image of deterioration of paint on several locations on the exterior of the home. Recommend repair by licensed painting contractor. I did not detect wood rot at this location featured in the photograph.

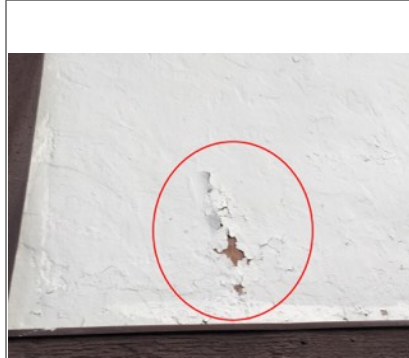


Image of deterioration of paint on several locations on the exterior of the home. Recommend repair by licensed painting contractor. I did not detect wood rot at this location featured in the photograph.



Image of deterioration of paint on several locations on the exterior of the home. Recommend repair by licensed painting contractor. I did not detect wood rot at this location featured in the photograph.



Image of wood rot on west side of building. Recommend repair by licensed contractor.

Soffit and Fascia

Soffit Material Wood

Soffit Condition Marginal Recommend repainting/repair

Comments Regarding Soffit

Fascia Material Wood

Fascia Condition Marginal

Comments Regarding Fascia There are several locations around the structure that have damaged/missing paint.

Photos

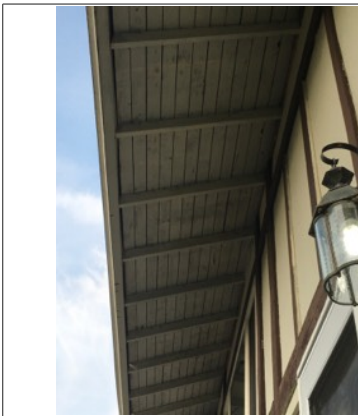
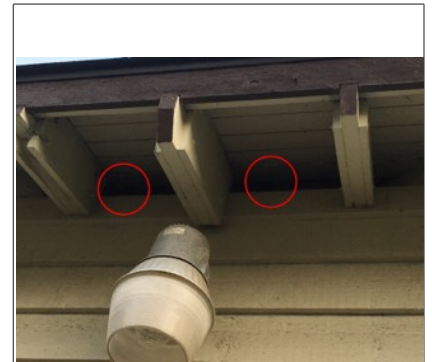


Image of wood soffit.



Image of damaged paint on soffit/facia near downspout. Recommend further evaluation/repair by licensed contractor.



Recommend installing mesh on soffit (above garage) to prevent insect/critter nesting.



Image of damaged paint on soffit/facia boards. Recommend further evaluation/repair by licensed contractor.



Image of damaged paint on soffit/facia near downspout. Recommend further evaluation/repair by licensed contractor.



Image of soffit (above 1st story)



Image of fascia board and metal rake edge trim.



Image of damaged paint on soffit/facia. Recommend further evaluation/repair by licensed contractor.

Flashing and Caulking
Flashing N/A

Exterior

Flashing and Caulking cont.

Caulking Condition Recommend repair and doors/windows Recommend repair around utility penetrations
 Recommend repair around corners/ledges

Photos

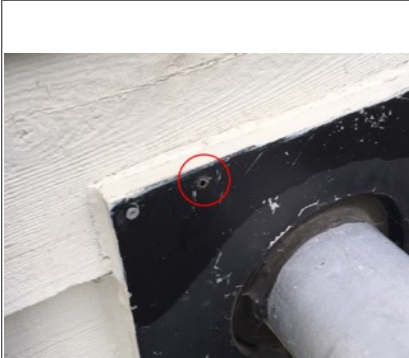


Image of missing screw on heater exhaust vent. Recommend replacing missing screw.



Image of heater exhaust vent outside family room.



Recommend chasing/sealing around doors, windows, penetrations, and siding joints.



Recommend chasing/sealing around doors, windows, penetrations, and siding joints.

Exterior Doors

Condition Of Front Door Satisfactory
Condition Of Sliding Glass Door (Deck) Satisfactory
Condition Of Patio/Deck Door Satisfactory
Condition Of Side/Garage Pedestrian Door N/A
Comments Regarding Exterior Doors

Photos

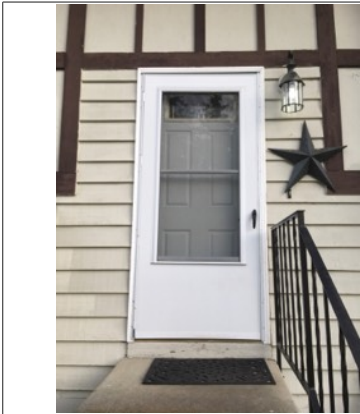


Image of front door with screen door attached.

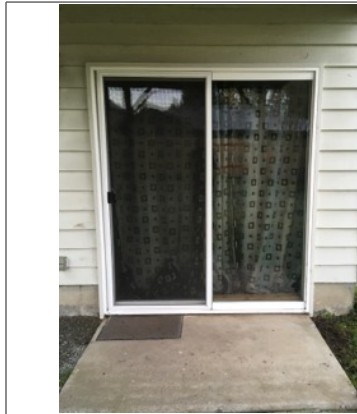


Image of patio door.



Image of damaged screen on patio door. Recommend replacing screen.

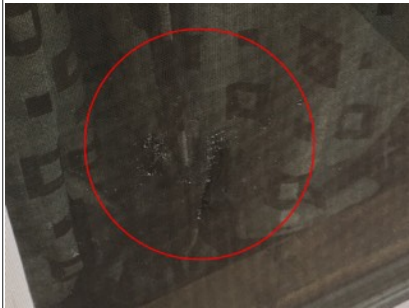


Image of damaged screen on patio door. Recommend replacing screen.



Image of sliding glass door ending to patio.

Exterior Windows

Exterior Window Material Vinyl

Exterior Window Condition Marginal Recommend repair/replace damaged screens

Screen Condition Satisfactory

Comments Regarding Exterior Windows There are several windows that are missing window screens.

Photos



Image of exterior window. Flashing is not installed around exterior windows.



There are several windows on the exterior that will need caulking.

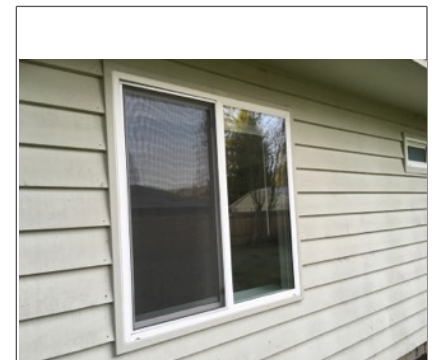


Image of exterior window. Flashing is not installed around exterior windows.



Image of exterior window.
Flashing is not installed around exterior windows.

Foundation and Exterior Wall

Foundation Wall Type Poured concrete
Foundation Wall Condition Satisfactory
Concrete Slab Condition Not Visible/Not Evaluated
Comments Regarding Foundation
Exterior Wall Construction Not Visible
Exterior Wall Condition Not Visible
Comments Regarding Exterior Wall

Photos



Slight deterioration/pitting of foundation wall around downspouts. Recommend repair of downspout and extend drainpipe away from foundation. Recommend further monitoring of foundation wall.



Image of foundation crack on west side of building. This crack does not appear to be structural in nature. Recommend sealing crack to prevent water intrusion.

Exterior Receptacles and Hose Bibs

Exterior Receptacles Condition Operable?: Yes Weatherproof outlet cover?: Yes GCFI Protected?: No
Comments Regarding Exterior Receptacles
Hose Bib(s) Condition Operable?: Yes Anti syphon device installed? : No
Water Pressure Water pressure tested at secondary hose bib (PSI): 60 PSI
Comments Regarding Hose Bib(s)
Miscellaneous House numbers visible from street?: Yes Doorbell working?: Yes

Photos



Image of house numbers on front of house.

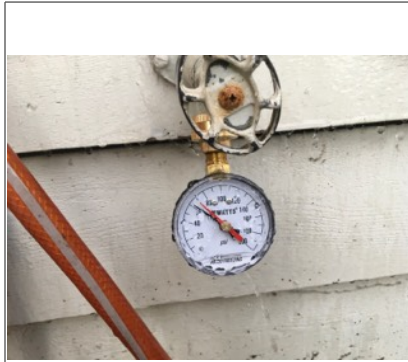


Image of water water pressure test on south side bib.

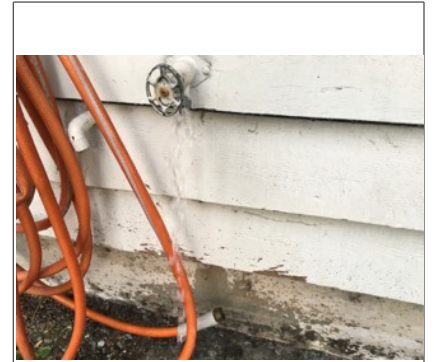


Image of water flow from house bib



Image of tested exterior electrical receptacle.



Image of front hose bib (next to entry door)

Roof

Style of Roof

Roof Inspected From Roof Drone

Visibility Full

Type Gable

Pitch Medium

Roofing Material Asphalt Shingles Number Of Layers: 1

Comments Regarding Style Of Roof Lower roof section was inspected by being traversed and upper roof section observations made by ladder and drone footage. The upper roof section was covered with moss and frost at the time of the inspection and could have been dangerous to traverse.

Condition Of Roof Covering

Condition Of Roof Covering #1 Roof Material: : asphalt Marginal Broken/loose tiles or shingles
 Moss build-up Exposed felt

Comments Regarding Roof Covering #1 I recommend removing the moss from the roof by a licensed roofing contractor. Moss build-up was evident on upper and lower sections of the roof.

Condition Of Roof Covering #2 N/A

Photos



Image of damaged roof shingles near entry door. Recommend further evaluation/repair by licensed roofing contractor.

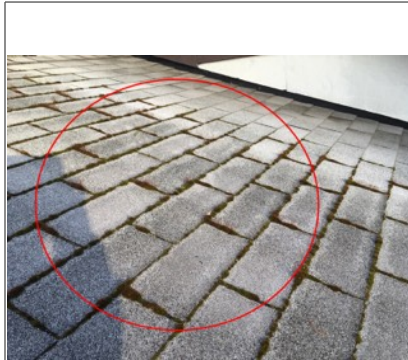


Image of moss build-up on roofing material. Recommend removing moss from roofing material.

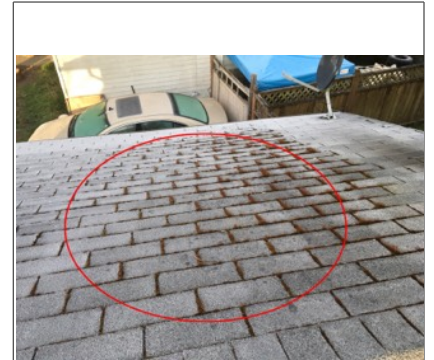


Image of moss build-up on roofing material. Recommend removing moss from roofing material.



Image of satellite dish on east side of building, Recommend sealing screw holes to prevent water intrusion into roof structure.



Image of light curling of asphalt shingles on garage roof. Recommend further monitoring.



Image of roof

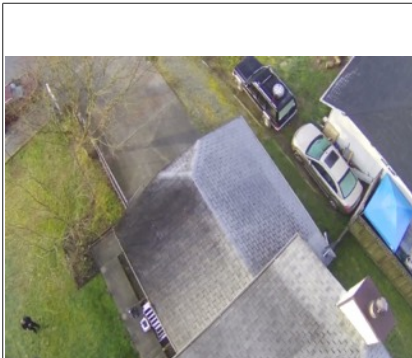


Image of roof

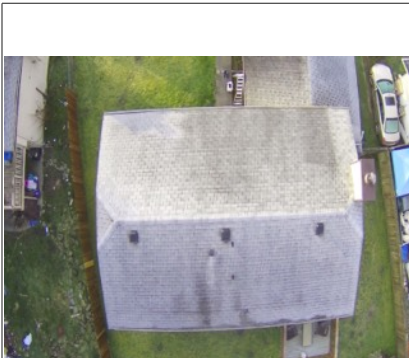


Image of roof at time of inspection. Entire upper roof is covered with moss and ice.

Roofing Valleys

N/A

Ventilation

Type Of Roofing Ventilation Soffit Gable Roof

Plumbing and Heating Ventilation N/A

Condition Of Plumbing And Heating Ventilation Marginal

Photos

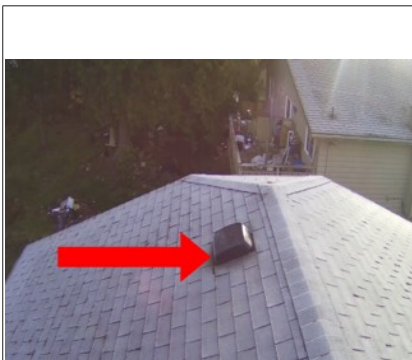


Image of roof vent

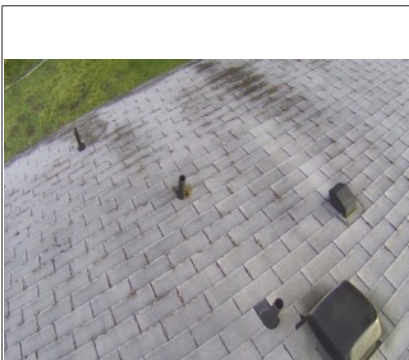
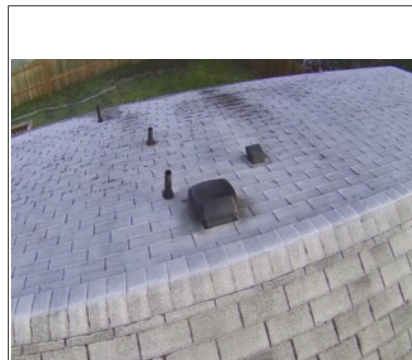


Image of plumbing penetrations and roof vents.



Plumbing penetrations and roof vents appear to be installed correctly.

Flashing

Material Not Visible

Condition Not Visible

Comments Regarding Flashing Drip flashing not installed

Photos

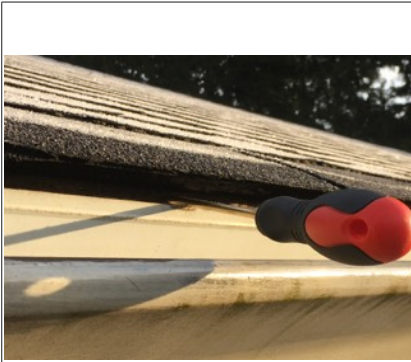


Image of missing drip edge flashing on roof. There are several locations that have exposed felt along the roof intersection with the gutter, Recommend further evaluation/repair by licensed roofing contractor.

Skylights

N/A

Gutters/Downspouts

Material Galvanized/Aluminum

Evidence Of Leaking No apparent leaks

Extension Needed N/A

Attachment Loose

Condition **Poor** Recommend repair/replacement Recommend downspout extension Rusted

Comments Regarding Gutters/Downspouts

Photos



Image of rusted gutters on the south side of the home. Recommend further evaluation/repair by licensed contractor.

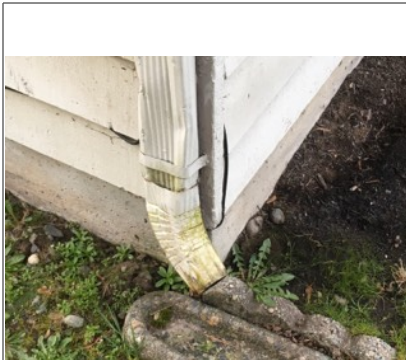


Image of damaged downspout. Recommend repair and added extension away from the house (by three feet).

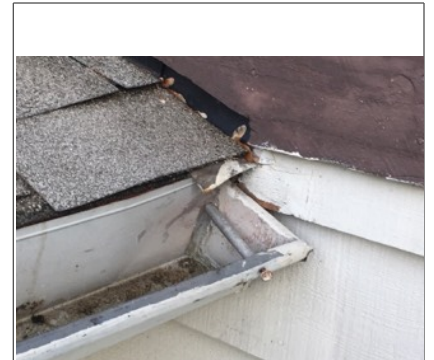


Image of missing kick-out flashing on roof. Recommend further evaluation/repair by licensed contractor.



Image of downspout. Downspout may need extension away from structure. Recommend monitoring.



Image of the gutter detaching from the fascia board on the front side of the house. Recommend further evaluation/repair by licensed contractor.

Garage/Carport

Type Of Garage

Garage Type Attached 2-Car

Garage Construction Roofing: Same as house Gutters/Downspouts: Same as house Siding: Same as house
Trim: Same as house

Type Of Garage Sill Plate Not Visible

Condition Of Garage Sill Plate Not Visible

Comments Regarding Garage Sill Plate

Photos

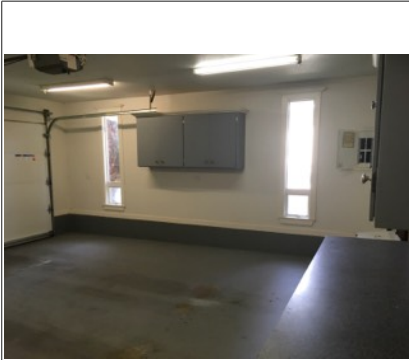


Image of garage

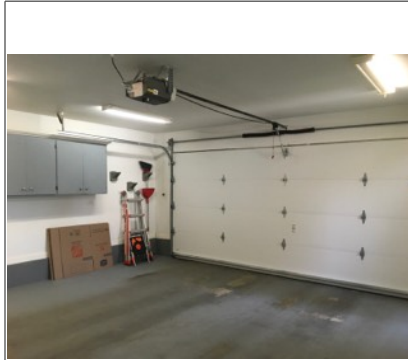


Image of garage

Overhead Garage Door System

Material Of Garage Door Metal

Condition Of Garage Door Satisfactory SAFETY HAZARD

Condition Of Automatic Garage Door Opener Operable

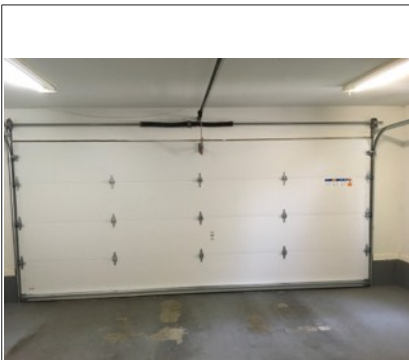
Condition Of Garage Door Safety System Operable Not Operable SAFETY HAZARD

Testing Of Garage Door Safety System Tested Electronic Eye Sensor: Not Equipped

Tested Pressure Automatic Reverse: Not Equipped

Comments Regarding Overhead Garage Door System The garage door opener is not equipped with safety eye or pressure automatic reverse. The is a potential SAFETY HAZARD and recommend repair by licensed contractor.

Photos



View of garage door (interior)



Image of garage door opener



Image of missing eye sensor on door opener. This is a potential SAFETY HAZARD and recommend repair by licensed contractor.



Image of garage door opener operation.



Image of garage door (exterior view)

Garage Floor

Material Of Garage Floor Concrete

Condition Of Garage Floor Satisfactory

Source of Ignition within 18" of the floor N/A

Photos

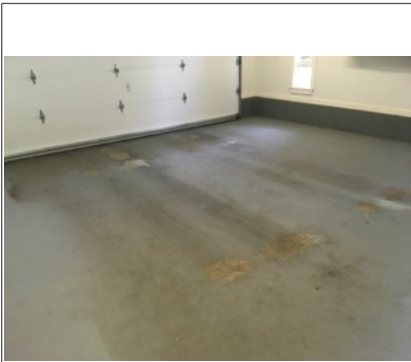


Image of garage floor.

Electrical Receptacles

Yes Operable: Yes

Reverse polarity No

Open ground Yes

GFCI Present Yes Operable: Yes Recommend GFCI Receptacles

Photos



Image of tested electrical receptacle. The outlet on the east side of the garage, near the garage door, has an open ground. Recommend further evaluation/repair by licensed electrical contractor.



Image of tested GFCI receptacle in garage.

Fire Separation Walls & Ceiling

Present

Condition Satisfactory

Moisture Stains Present No

Typical Cracks No

Fire door Not verifiable

Self closure Inoperative

Photos



The garage door does not automatically close after it is open. This is a potential SAFETY HAZARD and recommend repair by licensed contractor.

Detached Garage/Carport Structure

N/A

Kitchen

Kitchen Structural Systems

Walls & Ceiling Satisfactory

Floor Satisfactory

Doors N/A

Windows Satisfactory

Holes N/A

Moisture stains No

Comments No comments for this section. Please see photographs.

Photos



Image of kitchen

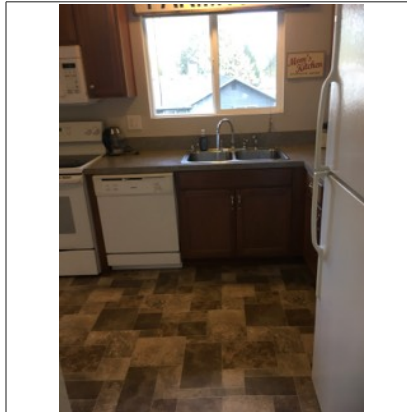


Image of kitchen

Kitchen Mechanical Systems

Heating source present Yes

Electrical Light Switches Operable: Yes Electrical Receptacles Operable: Yes Receptacle GFCI Protected: Yes

Sink(s) Operable: Yes Faucet Leaks: No Pipes Rusted/Leaks: No

Water Flow Satisfactory

Drainage Satisfactory

Comments No comments for this section. Please see photographs.

Photos



Image of tested GFCI receptacle.



Image of water flow in sink

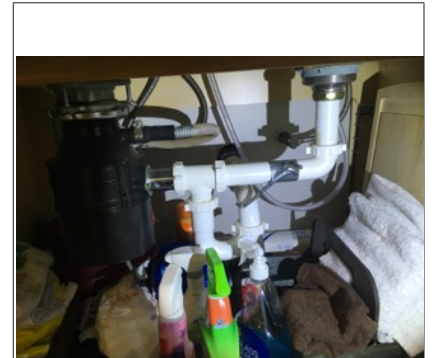


Image of plumbing under sink.



Image of high loop coming from dishwasher. Airgap not installed.

Kitchen Hardware

Countertops Satisfactory

Cabinets Satisfactory

Comments No comments for this section. Please see photographs.

Photos



Image of counter top.

Kitchen Appliances

Range or Cooktop Operable: Yes Electric Anti-Tip Device Installed: No

Oven Operable: Yes Electric

Exhaust Fan/Hood Operable: Yes

Microwave (mounted unit) Operable: Yes

Refrigerator/Freezer Operable: Yes Ice Dispenser Works: N/A Water Dispenses: N/A

Insta-hot Water Supply N/A

Garbage Disposal Operable: Yes

Dishwasher Operable: Yes Dishwasher Airgap Installed: No Dishwasher Drain Line High Looped: Yes

Garbage Compactor N/A

Comments No comments for this section. Please see photographs.

Photos



Image of working range



Image of microwave



Image of grease filters for exhaust fan. Recommend periodic cleaning to help airflow.



Image of functional heating elements in oven.



Image of refrigerator/freezer.



Image of interior of dishwasher.

Dining Room

Dining Room Structural Systems

Location Within Structure Location: Attached to kitchen

Walls & Ceiling Satisfactory

Floor Satisfactory

Doors N/A

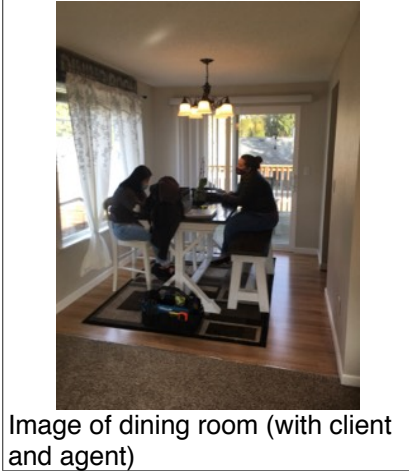
Windows Satisfactory

Holes N/A

Moisture stains No

Comments No comments for this section. Please see photographs.

Photos



Dining Room Mechanical Systems

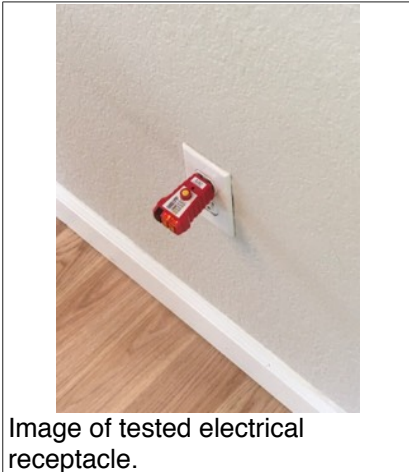
Ceiling fan N/A

Electrical Light Switch Operable: Yes Electrical Receptacle Operable: Yes

Heating source present Yes

Comments No comments for this section. Please see photographs.

Photos



Living Room

Living Room Structural Systems

Location Within Structure Location: top of stairs, 2nd flor

Walls & Ceiling Satisfactory

Floor Satisfactory

Doors N/A

Windows N/A

Holes N/A

Moisture stains Yes

Comments No comments for this section. Please see photographs.

Photos

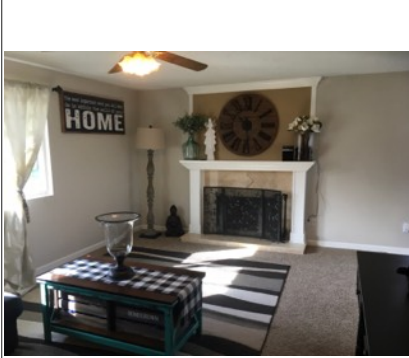


Image of living room

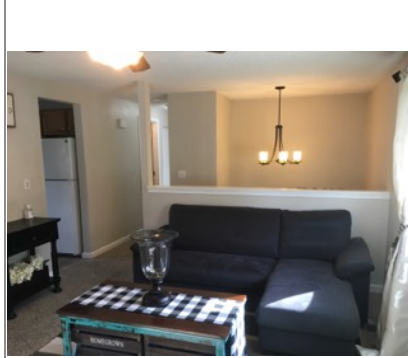


Image of living room

Living Room Mechanical Systems

Ceiling fan Satisfactory

Electrical Light Switch Operable: Yes Electrical Receptacle Operable: Yes

Heating source present Yes

Comments No comments for this section. Please see photographs.

Photos

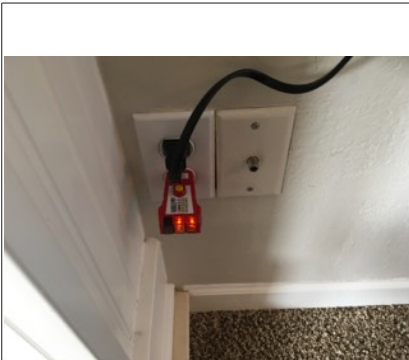


Image of tested electrical receptacle.

Family Room

Family Room Structural Systems

Location Within Structure Location: 1st story, adjacent to garage

Walls & Ceiling Satisfactory

Floor Satisfactory

Doors Satisfactory

Windows Satisfactory

Holes N/A

Moisture stains No

Comments No comments for this section. Please see photographs.

Photos

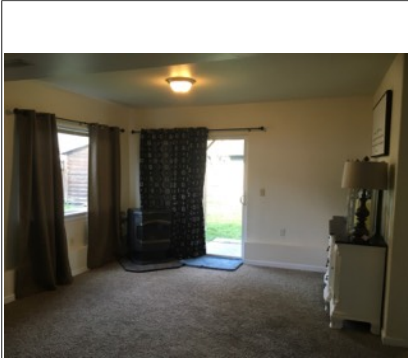


Image of family room



Image of family room

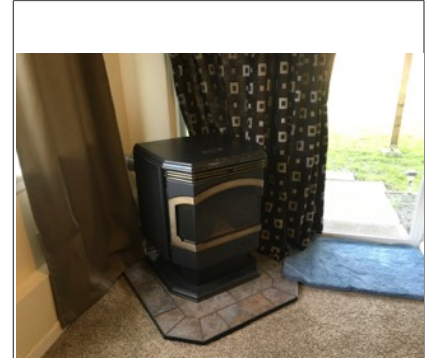


Image of room heater. This device was not tested due to being let unplugged.



Room heater was not plugged in.

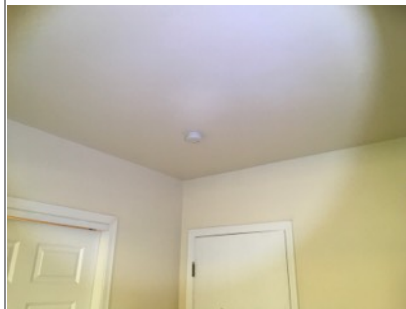


Image of smoke detector.

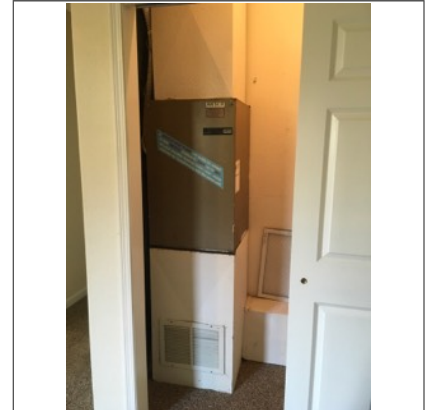


Image of electric furnace in closet

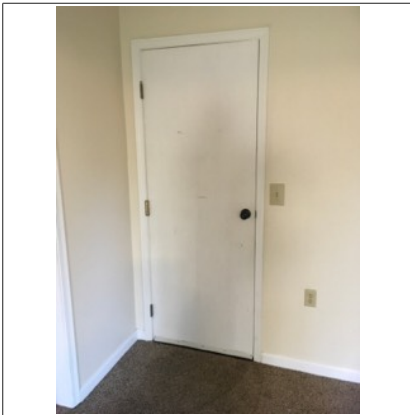


Image of door to garage

Family Room Mechanical Systems

Ceiling fan N/A

Electrical Light Switch Operable: Yes Electrical Switch Operable: Yes

Heating source present Yes

Comments No comments for this section. Please see photographs.

Photos



Image of tested electrical outlet.

Master Bedroom

Master Bedroom Structural Systems

Walls & Ceiling Satisfactory

Floor Satisfactory

Doors Satisfactory

Windows Satisfactory

Holes N/A

Moisture stains No

Comments No comments for this section. Please see photographs.

Photos

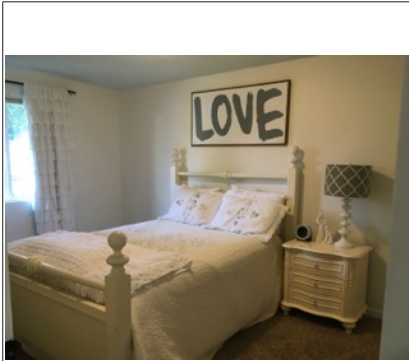


Image of master bedroom

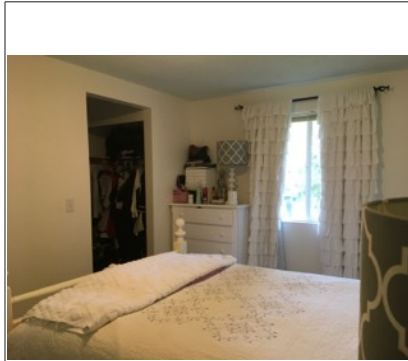


Image of master bedroom

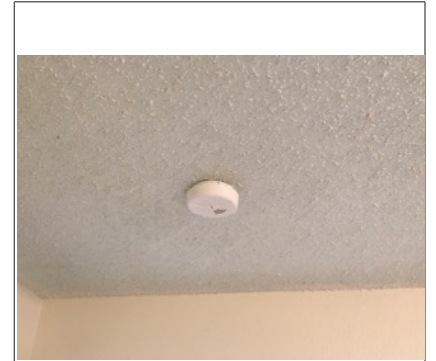


Image of smoke detector.

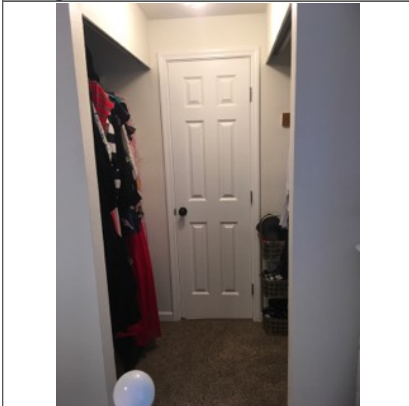


Image of closet with door to master bathroom

Master Bedroom Mechanical Systems

Ceiling fan N/A

Electrical Light Switch Operable: Yes Electrical Receptacle Operable: Yes

Heating source present Yes

Comments No comments for this section. Please see photographs.

Photos

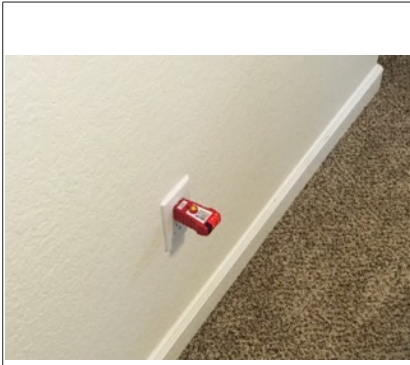


Image of tested electrical
receptacle

Master Bathroom

Master Bathroom Structural Systems

Walls & Ceiling Satisfactory
Floor Satisfactory
Doors Satisfactory
Windows Satisfactory
Holes N/A
Moisture stains No
Comments No comments for this section. Please see photographs.
Photos

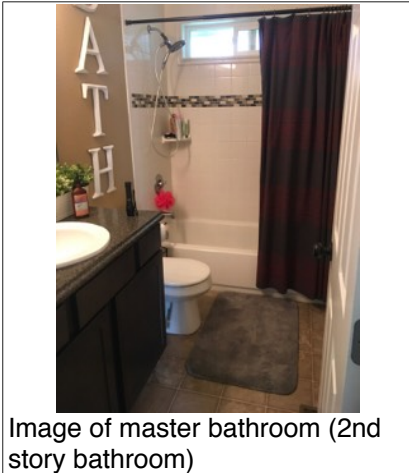


Image of master bathroom (2nd story bathroom)

Master Bathroom Mechanical Systems

Heating source present Yes
Electrical Light Switch Operable: Yes Electrical Receptacle Operable: Yes Receptacle GFCI Protected: Yes
Sink(s) Operable: Yes Faucet Leaks: No Pipes Rusted/Leaks: No
Water Flow Satisfactory
Drainage Satisfactory
Toilet Operable: Yes Toilet Leaks: No Toilet Loose: No Pipes Rusted/Leaks: No
Exhaust Fan Operable: Yes Fan Dirty: Yes Fan Noisy: No

Photos

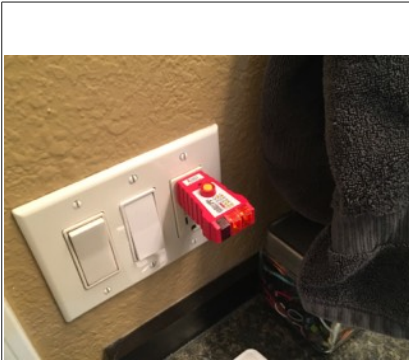


Image of tested GFCI electrical receptacle.

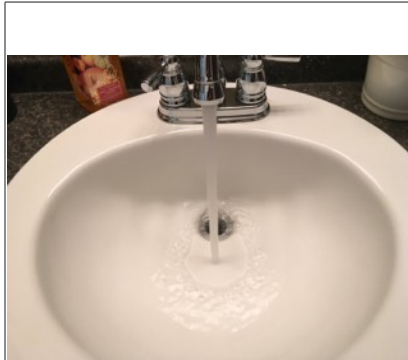


Image of water flow.

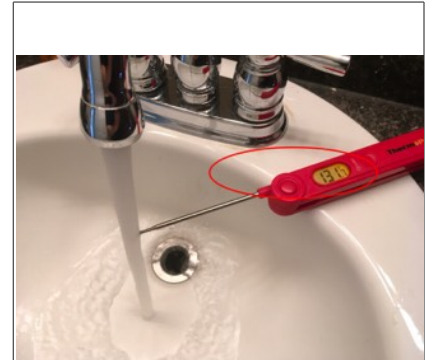


Image of water temperature test. The water is above 120 degrees and this is a potential SAFETY HAZARD. Recommend reducing temperature on hot water tank. If temperature cannot be adjusted the recommend repair by licensed plumbing contractor.



Image of plumbing under sink



Image of water flow in toilet.



Image of missing sink stopper. Recommend replacement.



Image of exhaust fan.

Master Bathroom Bathing Enclosure

Bathing Enclosure Type: Shower/Tub Enclosure Material: Ceramic/Plastic Other Condition: Satisfactory
Operable: Yes Faucet/Shower Head Leaks: No Pipes Leak: No

Water Flow Satisfactory

Drainage Satisfactory

Whirlpool (Powered) Bath Mechanical Components N/A

Comments

Photos

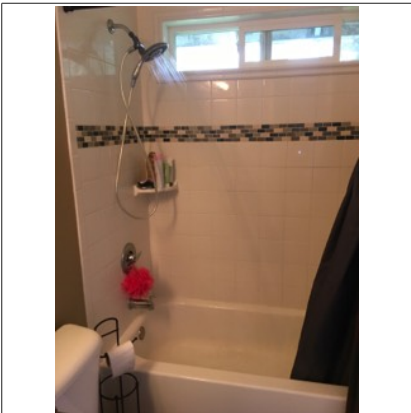


Image of water flow in shower enclosure

Bedroom (#1)

Bedroom Structural Systems

Location Within Structure Location: right of master bedroom

Safety Smoke Detector Installed (not tested): Yes Restricted Bedroom Egress: No

Walls & Ceiling Satisfactory

Floor Satisfactory

Doors N/A

Windows Satisfactory

Holes N/A

Moisture stains No

Comments No comments for this section. Please see photographs.

Photos

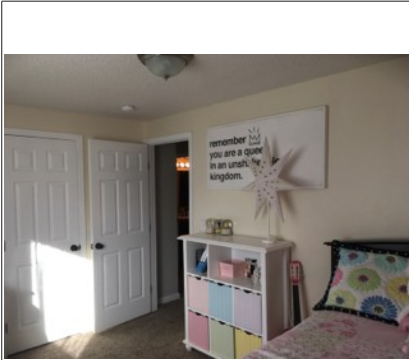


Image of bedroom #1

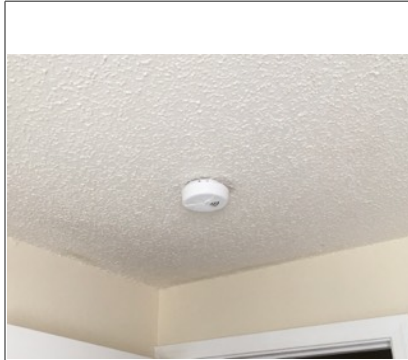


Image of smoke detector

Bedroom Mechanical Systems

Ceiling fan N/A

Electrical Light Switch Operable: Yes Electrical Receptacle Operable: Yes

Heating source present Yes

Comments No comments for this section. Please see photographs.

Photos

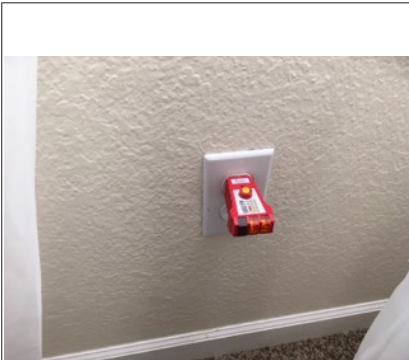


Image of tested electrical receptacle

Bedroom (#2)

Bedroom Structural Systems

Location Within Structure Location: downstairs right

Safety Smoke Detector Installed (not tested): Yes Restricted Bedroom Egress: Yes

Walls & Ceiling Satisfactory

Floor Satisfactory

Doors Satisfactory

Windows Satisfactory

Holes N/A

Moisture stains No

Comments No comments for this section. Please see photographs.

Photos

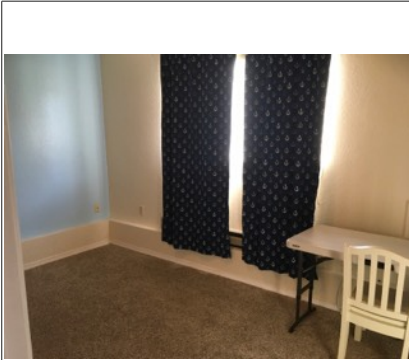


Image of bedroom #2

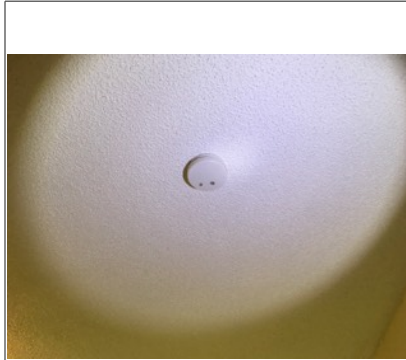
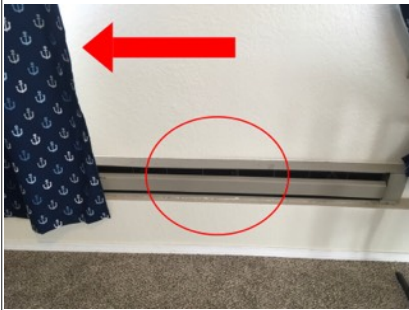


Image of smoke detector



Restricted egress from bedroom due to height of wall (measured from floor to window sill)



This bedroom is equipped with baseboard heating. Recommend that drapes do not come into contact with heater and there is a 6 inch gap between elements and fabric. This is a potential SAFETY HAZARD.

Bedroom Mechanical Systems

Ceiling fan N/A

Electrical Light Switch Operable: Yes Electrical Receptacle Operable: Yes

Heating source present Yes

Comments No comments for this section. Please see photographs.

Photos

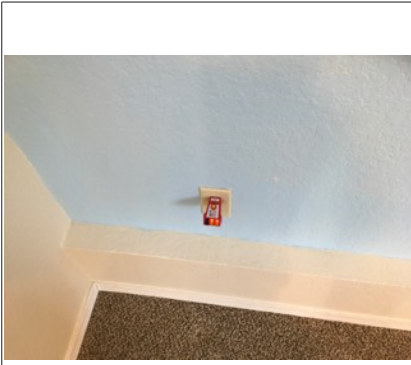


Image of tested electrical receptacle.

Bedroom (#3)

Bedroom Structural Systems

Location Within Structure Location: left

Safety Smoke Detector Installed (not tested): Yes

Walls & Ceiling Satisfactory

Floor Satisfactory

Doors N/A

Windows Satisfactory

Holes N/A

Moisture stains No

Comments No comments for this section. Please see photographs.

Photos

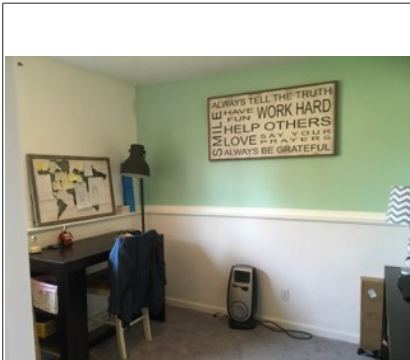


Image of bedroom #3



Image of missing closet doors.

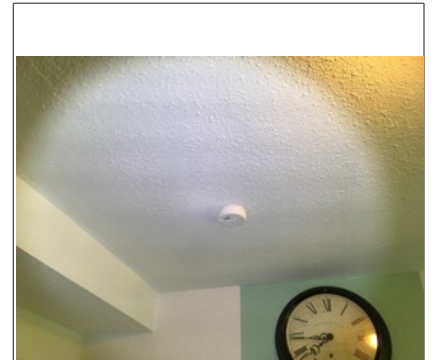


Image of smoke detector

Bedroom Mechanical Systems

Ceiling fan N/A

Electrical Light Switch Operable: Yes Electrical Receptacle Operable: Yes

Heating source present Yes

Comments No comments for this section. Please see photographs.

Photos

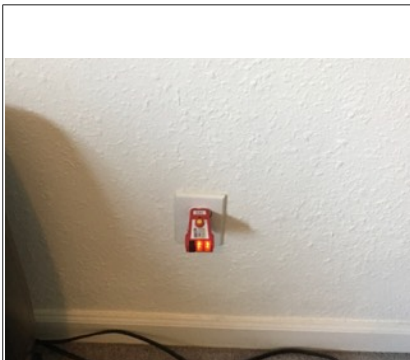


Image of tested electrical receptacle.

Bathroom (#1)

Bathroom Structural Systems

Walls & Ceiling Satisfactory

Floor Satisfactory

Doors Satisfactory

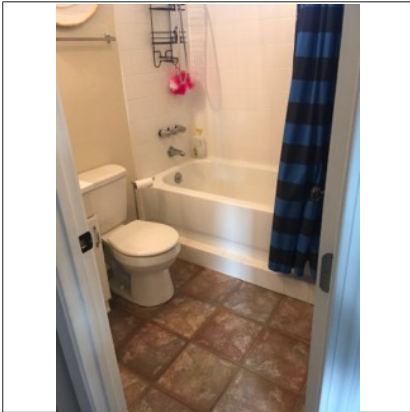
Windows Satisfactory

Holes N/A

Moisture stains No

Comments No comments for this section. Please see photographs.

Photos



Bathroom Mechanical Systems

Heating source present Yes

Electrical Light Switch Operable: Yes Electrical Receptacle Operable: Yes Receptacle GFCI Protected: Yes

Sink(s) Operable: Yes Faucet Leaks: No Pipes Rusted/Leaks: No

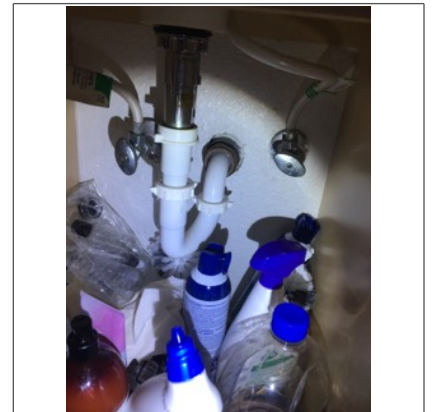
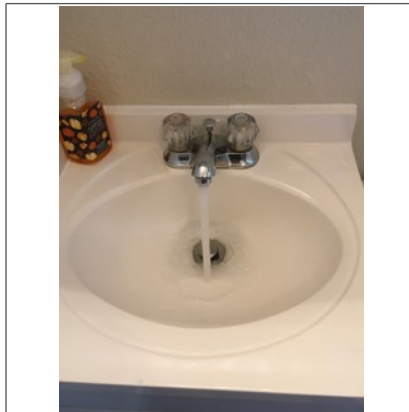
Water Flow Satisfactory

Drainage Satisfactory

Toilet Operable: Yes Toilet Leaks: No Toilet Loose: No

Exhaust Fan Operable: Yes Fan Dirty: No Fan Noisy: No

Photos





Bathroom Bathing Enclosure

Bathing Enclosure Material: Ceramic/Plastic Condition: Satisfactory Operable: Yes

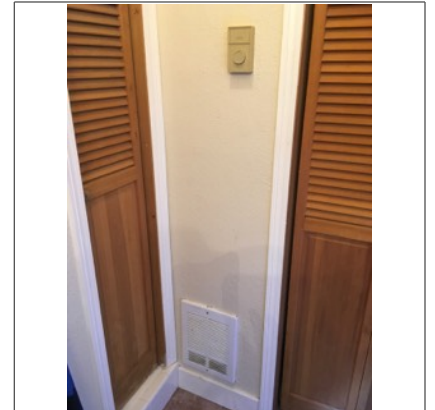
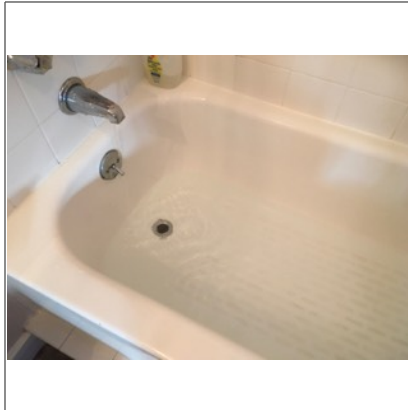
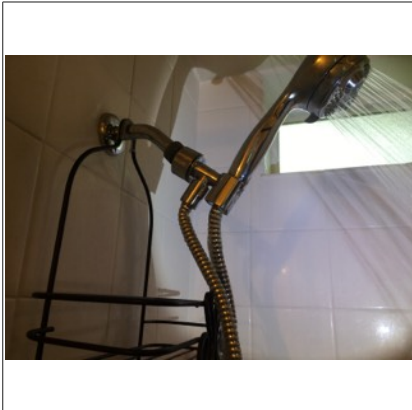
Faucet/Shower Head Leaks: Yes Pipes Leak: No

Water Flow Satisfactory

Drainage Marginal

Whirlpool (Powered) Bath Mechanical Components N/A

Photos



Laundry Room

Laundry Room

Laundry sink N/A

Electrical Receptacle working: Yes Receptacle GFCI: No

Heat source present No

Room vented No

Appliances In Laundry Room Washer Dryer

Washer hook-up lines/valves Satisfactory

Dryer vented Wall

Gas shut-off valve N/A

Comments Regarding Laundry Room

Photos



Image of laundry room

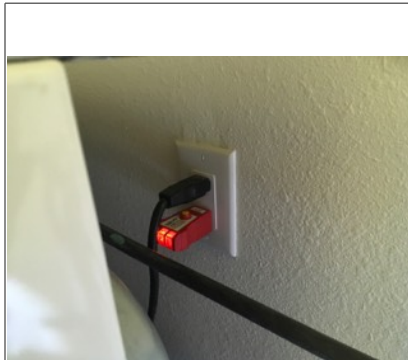
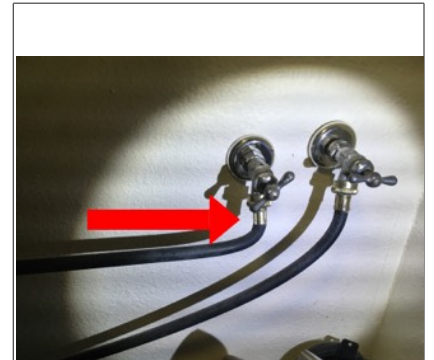


Image of tested electrical receptacle



Recommend lengthening water line to washing machine. Stretched water lines are prone to rupture. Recommend replacing water line.



Image of clothes dryer exhaust duct

Interior Areas

Fireplace(s)

- Location** Location: Living Room
- Type** Wood
- Material** Metal (pre-fabricated)
- Condition** Marginal
- Adequate Hearth Extension** Yes
- Mantel** Satisfactory
- Damper** Operable: Yes
- Damper Modified For Gas Operations** N/A
- Blower Fan** N/A

Comments This building has a fireplace(s) and or fireplace appliance(s) this company recommends an inspection by a licensed fireplace professional prior to the close of this transaction. Our inspection of the fireplace and chimney is limited to the readily visible portions only (WAC 308-408C-160). The inner reaches of the flue are relatively inaccessible. The distant view from the top or bottom is not adequate to discover possible deficiencies or damage, even with a strong light. A licensed fireplace professional will clean the interior if necessary, use specialized tools, testing procedures, mirrors, and Vedic cameras as needed to evaluate the fireplace system. For safe and efficient operation we further recommend annual inspections by a licensed fireplace professional.

The fireplace damper arm is not secured to the damper. Recommend further evaluation/repair by licensed chimney contractor.

Photos



Image of fireplace with mesh screens



Image of firebricks and fire chamber.

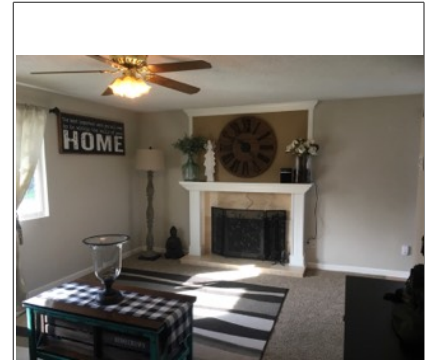


Image of fireplace

Smoke/Carbon Monoxide Detectors

- Smoke Detectors** Smoke Detector Installed (not tested): Yes
- Carbon Monoxide Detectors** Smoke Detector Installed (not tested): Yes

Comments According to the State of Washington Standards of Practice (WAC 308-408c-110), home inspectors are not required to test smoke, heat, or carbon monoxide detectors. It is recommended that you replace detector backup batteries every six months starting when you first occupy the structure. It is also recommended that the detector itself is replaced on the the following intervals: 8-10 years for smoke detector and around 7 years for carbon monoxide detector.

Photos

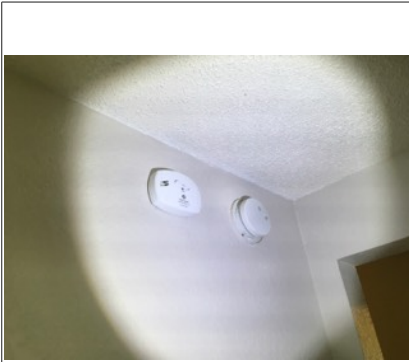


Image of smoke and carbon monoxide detectors

Stairs/Steps/Balconies

- Condition Satisfactory
- Handrail Marginal Safety hazard
- Risers/Treads Satisfactory

Photos

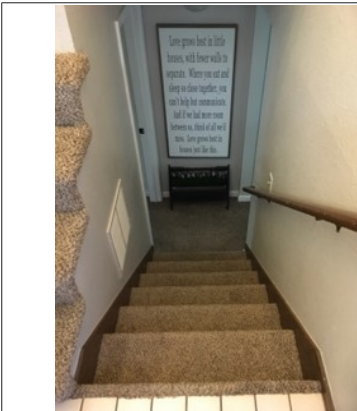


Image of stairs going down to 1st floor (front landing).

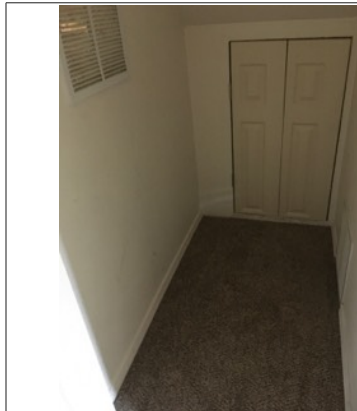
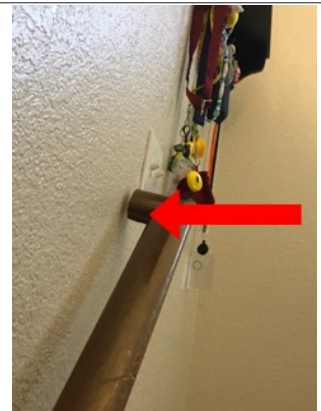


Image of room under stairs.



Railing should completely return to wall. This gap could cause clothing to snag on opening and present a trip/fall hazard.

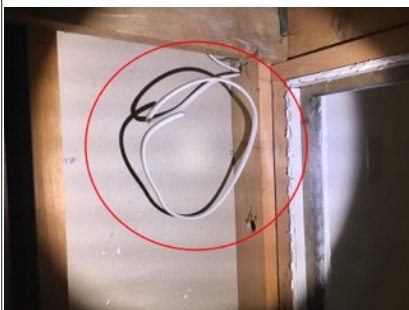


Image of exposed wires under stairs. I tested it and there is no power to this wire. Recommend removal of wire.

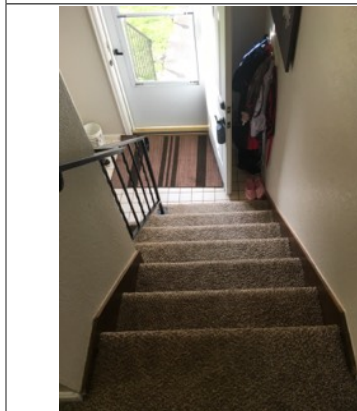


Image of top of stairs to landing

Interior Areas

Attic/Structure/Framing/Insulation

- Access** Scuttlehole/Hatch
- Inspected from** Access panel
- Location** Hallway
- Flooring** Complete None
- Insulation** Fiberglass Batts Loose
- Installed in** Between ceiling joists
- Vapor barriers** Not Visible
- Ventilation** Ventilation appears adequate
- Fans exhausted to** Outside: Yes
- HVAC Duct** N/A
- Chimney chase** N/A
- Structural problems observed** No
- Roof structure** Trusses Wood
- Ceiling joists** Not Visible
- Sheathing** OSB
- Evidence of condensation** No
- Evidence of moisture** No
- Evidence of leaking** No
- Firewall between units** N/A
- Electrical** No apparent defects

Photos



Access hatch to attic outside master bedroom

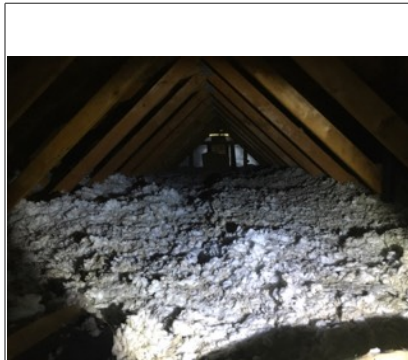


Image of insulation in attic

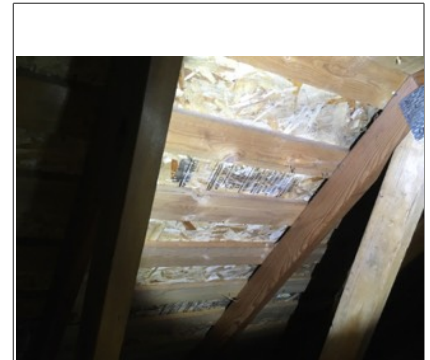


Image of roof sheathing



Image of past nesting of birds/animals. Recommend further monitoring.



Image of gable vent being blocked by cardboard baffle. Recommend removing cardboard to allow better airflow in attic.



Image of attic hatch in garage

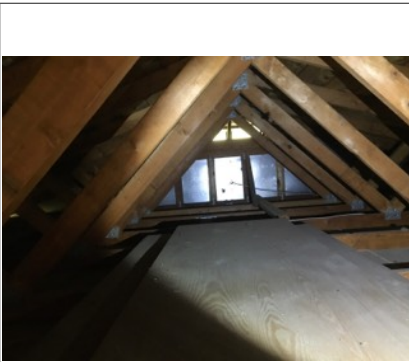


Image of garage attic. Garage ceiling is not insulated



Image of roof truss



Image of fire separation between garage and dwelling.

Heating/Cooling System

Heating system

Unit #1 Location: In closet in family room Brand Name: : Northwest Foundry and Furnace Co
Model Number: : 15.5 RU 240 Volt 60 HZ 1 PH Serial Number: : Could not find
Approximate Age: Cannot properly determine

Controls And Operations Thermostat Located: Living Room wall near kitchen When turned on by thermostat: Fired
Electrical disconnect installed?: No Normal operations and safety controls?: Yes

Energy Source Electric

Heat Exchanger Not visible

Combustion Air Venting Present N/A

Flue Piping N/A

Warm Air System Central system

Distribution System Metal duct Sub-Slab Ducting: N/A

HVAC Filters Standard

Heat Pump N/A

Carbon Monoxide N/A

System Not Operated Due To N/A

Comments Regarding Heating System:Furnace was in normal working order at the time of the inspection.
Furnace was marginal and aging, unit was nearing end of its useful life.

Photos



Image of data plate



Image of furnace fan

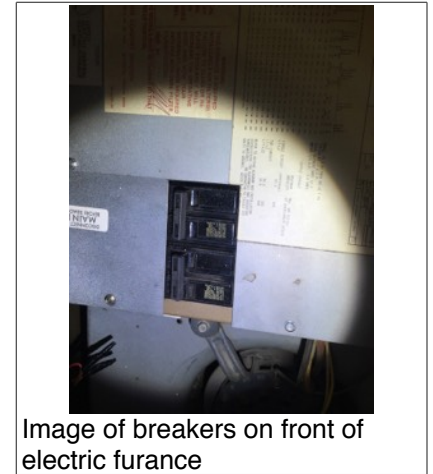


Image of breakers on front of electric furnace

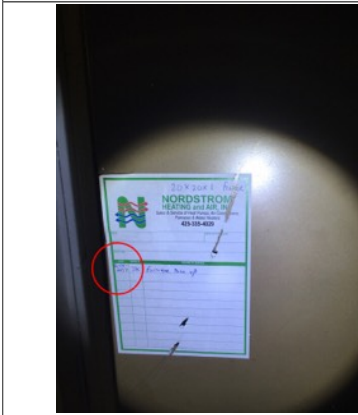


Image of furnace last being serviced in 2017.



Image of dust on the squirrel cage fan/housing. Recommend cleaning by licensed HVAC contractor.

Boiler system

N/A

Heating/Cooling System

Other systems

Type Electric baseboard
Proper operation Yes
System condition Satisfactory

Evaporator Coil

N/A

Exterior A/C

N/A

Plumbing

Water service

Main Water Shut Off Location Location: Inside Laundry Room and Street

Water Supply Public

Main Water Supply Pipe Material Not Visible

Water Distribution Pipe Material Copper

Main And Distribution Pipe Condition Satisfactory

DWV (Drain/Waste/Vent) Pipe Material ABS

DWV (Drain/Waste/Vent) Pipe Condition Satisfactory

Water Flow Satisfactory

Proper Waste Water Traps (P Trap) Yes

Lead Pipes Used For Water Distribution Unknown

Pipes Properly Supported Unknown

Comments Due to construction on home, I had limited access and visibility to water supply system. Observations made from views in kitchen, bathrooms, and laundry room.

Photos



Image of water shutoff valve on right side of driveway

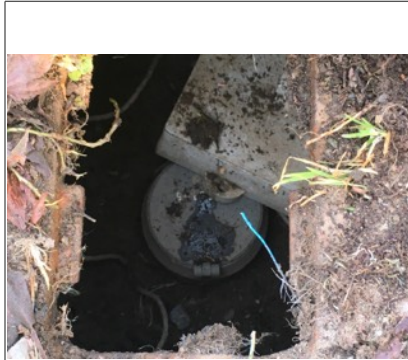


Image of water shutoff valve inside box near street



Image of water shutoff valve inside laundry room, next to water heater

Main Fuel Service

N/A

Well pump

N/A

Sanitary/Grinder pump

N/A

Water heater #1

General Brand Name:GE SmartWater

Serial #: GE 0205R05517

Capacity:65

Approx. age:16 years

Type Electric

Combustion air venting present N/A

Seismic restraints needed No

Relief valve Yes Extension proper: Yes

Vent pipe N/A

Condition Marginal

Photos



Image of water heater with proper restraints.



Image of water heater data plate

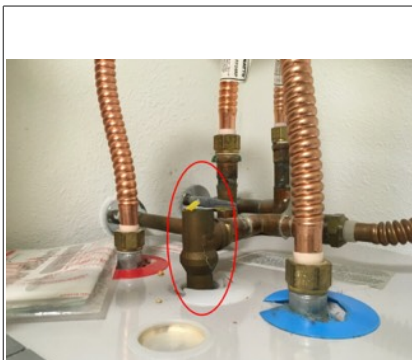


Image of TPR valve and proper plumbing.



Image of copper pipes and water shutoff valve to hot water tank.



Image of cover to thermostat.



Image of thermostat

Water softener

None

Electrical

Service Entrance

Location Location of service entrance: On east side of garage

Condition Of Service Entrance Satisfactory

Mechanical Location: Service Lateral (under ground)

Service-Grounding Electrode Not Visible

Comments Regarding Service Entrance

Photos



Image of service entrance

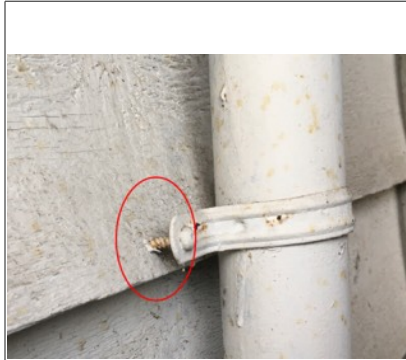


Image of loose screws on electrical conduit. Recommend repair by licensed contractor.

Service Panel

Location Location of service panel: Inside garage on East wall

Condition Of Service Panel Satisfactory

Amperage Of System 200 amps

Voltage Of System 120/240 volts

Service Entrance Conductor (main wire) Condition: Satisfactory Material: Aluminum

Branch Wire Conductors Condition: Satisfactory Material: Copper Type of conductors: NM cable
 Wires undersized

Mechanical Overcurrent device: Breakers Appears grounded: Yes Appears bonded: Yes

Proper clearance to panel: Yes Correct type/amount of fasteners: Yes

GFCI Breakers(s) Equipped: No Operable: N/A

AFCI Breakers Equipped: No Operable: N/A

Comments Regarding Service Panel: See comments in photos

Photos



Image of electrical service panel

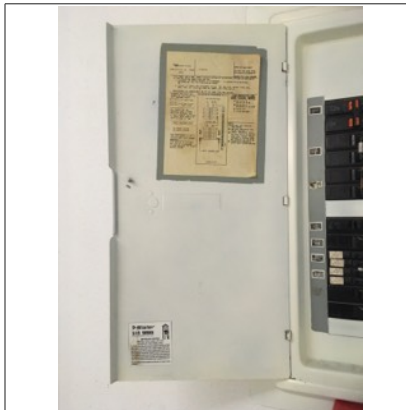


Image of electrical service panel data plate. 200 amps max



Image of electrical service conductors (stranded aluminum)

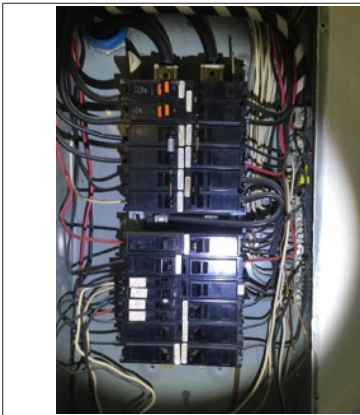


Image of inside electrical service panel

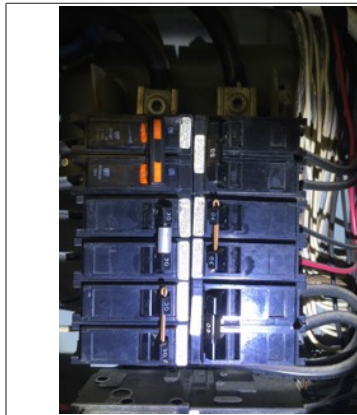


Image of main power breakers

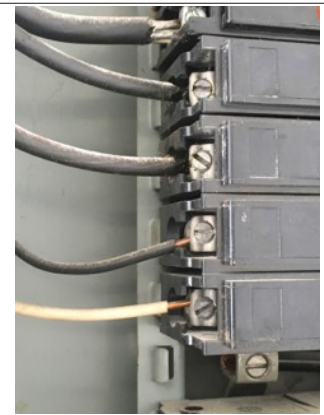


Image of branch wires



Image of potentially overheating breaker (see thermal image). This breaker has 30 amp supply but conductors appear to be undersized for amps. Recommend further evaluation/repair by licensed electrical contractor.

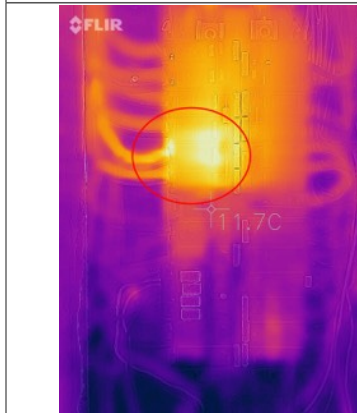


Image of excessive heat being generated on breaker 30 amp breaker that is running hot water tank. Recommend further evaluation/repair by licensed electrical contractor.



Image of 30 amp breaker in question (hot water tank)

Sub panel(s)

None apparent

Finalizing The Inspection

End Of The Inspection

Verify The Following Are Completed Before Leaving

- Bathroom(s) faucets are turned off
- Bathroom(s) GCFI are reset HVAC thermostat reset
- Oven/Range turned Off Kitchen GCFI are reset
- All exterior doors are locked Thank you note left for seller
- Blessing on the family and house